

December 2025

## Pontoon & adjacent land at Richmond Bridge Pier

Appendices to Accompany Proof of Evidence  
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PORTICO HERITAGE

## **Appendix 1**



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# RICHMOND RIVERSIDE CONSERVATION AREA APPRAISAL CONSERVATION AREA NO.4



Figure 1 Drawing of Richmond Riverside, 1820s

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## 1. *Introduction*

Richmond Riverside Conservation Area is closely linked in terms of its history and development with two adjacent Conservation Areas - [Richmond Green](#) and [Central Richmond](#) - and this Appraisal Document should be considered in the context of the special relationship between them. The Appraisals for each Area can be viewed by clicking their respective names above.

### Purpose of this document

The principal aims of conservation area appraisals are to:

- Describe the historic and architectural character and appearance of the area which will assist applicants in making successful planning applications and decision makers in assessing planning applications;
- Raise public interest and awareness of the special character of their area;
- Identify the positive features which should be conserved, as well as negative features which indicate scope for future enhancements.

This document has been produced using the guidance set out by Historic England in the 2019 publication titled *Understanding Place: Conservation Area Designation, Appraisal and Management*, Historic England Advice Note 1 (Second Edition).

This document will be a material consideration when assessing planning applications.

## What is a Conservation Area?

The statutory definition of a conservation area is an 'area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance'. The power to designate conservation areas is given to local authorities through the Planning (Listed Buildings and Conservations Areas) Act, 1990 (Sections 69 to 78). Once designated, proposals within a conservation area become subject to local conservation policies set out in the Council's Local Plan and national policies outlined in the National Planning Policy Framework (NPPF) and the London Plan. Our overarching duty, which is set out in the Act, is to preserve and/or enhance the historic or architectural character or appearance of the conservation area.

[Conservation Areas SPD \(pdf, 653 KB\)](#) 

## Buildings of Townscape Merit

Buildings of Townscape Merit (BTMs) are buildings, groups of buildings or structures of historic or architectural interest, which are locally listed due to their considerable local importance. The policy, as outlined in the Council's Local Plan, sets out a presumption against the demolition of BTMs unless structural evidence has been submitted by the applicant, and independently verified at the cost of the applicant. Locally specific guidance on design and character is set out in the Council's [Buildings of Townscape Merit Supplementary Planning Document \(2015\) \(pdf, 895 KB\)](#) , which applicants are expected to follow for any alterations and extensions to existing BTMs, or for any replacement structures.

## What is an Article 4 Direction?

An Article 4 Direction is made by the local planning authority. It restricts the scope of permitted development rights either in relation to a particular area or site, or a particular type of development anywhere in the authority's area. The Council has powers under Article 4 of the Town and Country Planning (General Permitted Development) Order 2015 to remove permitted development rights.

Article 4 Directions are used to remove national permitted development rights only in certain limited situations where it is necessary to protect local amenity or the wellbeing of an area. An Article 4 Direction does not prevent the development to which it applies, but instead requires that planning permission is first obtained from the Council for that development. View further information about [Article 4 Directions](#) to check if any permitted developments rights in relation to a particular area/site or type of development apply in your area.

## Designation and Adoption Dates

Richmond Riverside Conservation Area was designated on the 14th January 1969.

It was subsequently extended on the 5th July 1977, 7th September 1982, and 7th November 2005.

Following approval from the Environment, Sustainability, Culture and Sports Committee on the 21st June 2022, a public consultation on the draft Appraisal was carried out between the 4th July and 1st September 2022.

This Appraisal was adopted on the 20th November 2023.

## Map of Conservation Area

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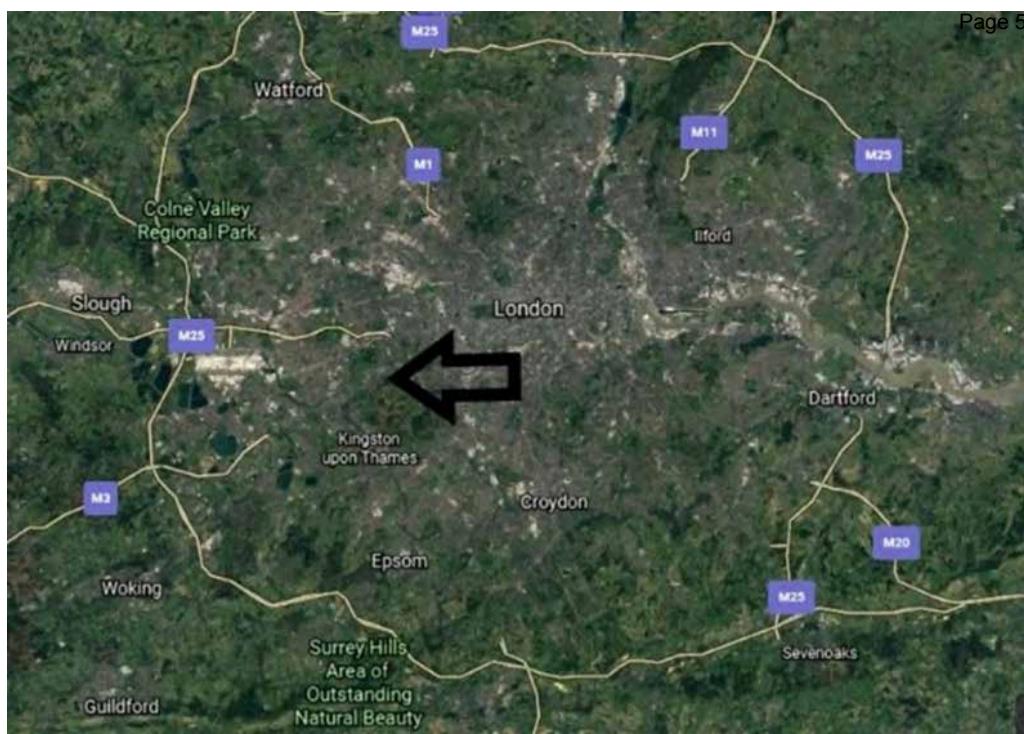


Figure 2 Aerial map showing Richmond in wider context

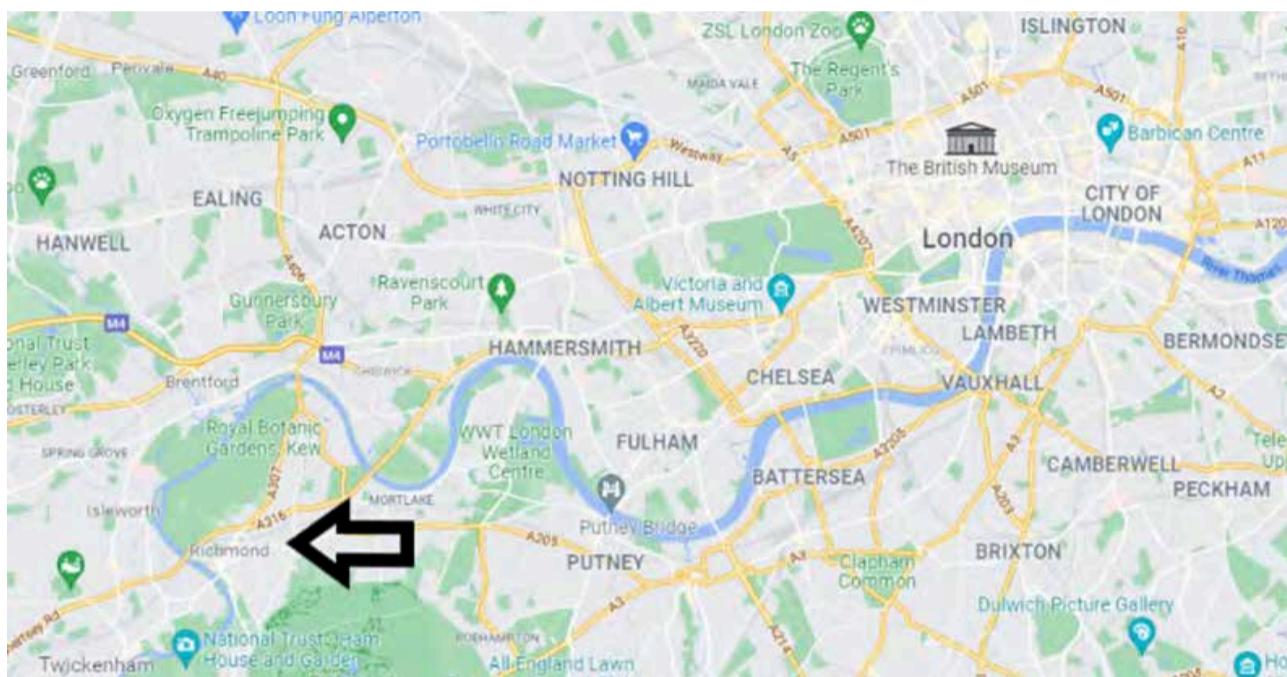


Figure 3 Map showing Richmond in wider context

The Conservation Area lies in the centre of the London Borough of Richmond upon Thames, and although it had its own distinct character, shares a relationship with both the Central Richmond Conservation Area, and the Richmond Green Conservation Area, and this context should be considered when studying any of the three.

Richmond Riverside Conservation Area lies to the west of Richmond Green and straddles both sides of the River Thames, running from Richmond Lock at its northern end to Richmond Bridge at the south, with Corporation Island in the centre. The riverside offers an iconic view; the eastern side is best known for its picturesque quality. The western bank is more residential in nature, with a mixture of residences and houseboats lining the river. Later extensions led to the inclusion of Park Road, a residential street running south from the Riverside.

### Topography

Built into the banks of the Thames, both the east and west side of the Conservation Area gradually slope upwards away from the river, with the lower sections, particularly the towpaths, prone to flooding. The east side has a steeper incline, rising to the relatively flat area of Richmond Town centre, and this allows for longer and more varied views from within the Conservation Area toward the river.

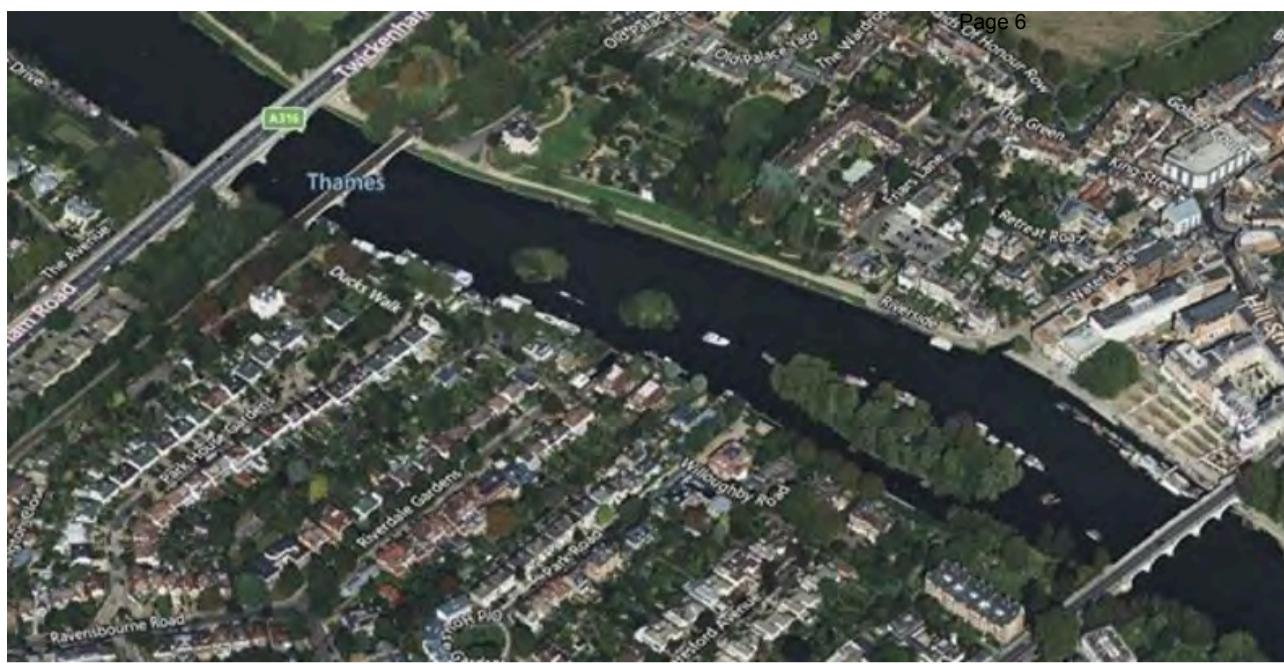


Figure 4 Aerial view of Richmond Riverside

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## 4. Historical Development

The history and development of the Conservation Area is fundamentally linked to the history and development of the adjacent Conservation Areas of Richmond Green and Central Richmond. As such, much of the information below is applicable to all three Areas, and it is valuable to consider these Appraisal documents concurrently with Richmond Riverside.

The growth of Richmond has been physically constrained by the large open spaces of Richmond Park and Petersham Common to the south and south-east, the River Thames to the west and the Old Deer Park to the north, later reinforced by the railway and A316 trunk road. Thus, throughout its development the town has only really been able to expand east and north-east.

The town's history, and indeed its existence, is dominated by and defined by the medieval and Tudor royal manor and palace. It was not a medieval town as it was never granted a market or fair, and before 1501 it was known as Shene. The first record of the manor house of Shene was in the 12th century when it belonged to Henry I, who stayed there in 1126 and granted the manor to the Belet family. The settlement of Shene presumably gradually developed around the manor house and succeeding palaces but little is known of its role and layout. Given the regular visits by royalty, their courtiers and other high status visitors Richmond or Shene is unlikely to have been a typical medieval village.

The early medieval manor house was demolished by Richard II after the death of his Queen, and a new palace was built by Henry V & VI. After a fire in 1497 the palace was rebuilt by Henry VII, and from 1501, the village of Shene came to be known as Richmond, as Henry VII was the earl of Richmond in Yorkshire. The accession of the Stuarts saw the creation of the New Park (now the Old Deer Park) by James I from 1603 and Richmond Park by Charles I from 1634. The civil war and execution of Charles I in 1649 led to the sale and quick demolition of most of the palace, with Trumpeter's House (1702-4), Old Court House, Wentworth House and Maids of Honour Row (1724-5) gradually being built on the site of the palace during the 18th century. However, The Gate House and associated walls and the Wardrobe survive.

The village gradually developed into a town by the early 17th century due to the presence of the palace, and decline followed its demolition. Prosperity returned towards the end of the 17<sup>th</sup> century as Londoners fled the plague and the discovery of a spring led to Richmond becoming a popular spa town over the following century. Richmond Bridge, built in 1774-7, and the arrival of the railway in 1846 were key developments leading to the quadrupling of the population from 1810 to 1890, the impetus for growth leading to the loss of many of the original large houses and grounds for redevelopment. The arrival of the railway also led to a shift in river activity from agricultural and shipping to leisure, including the replacement of the river ferry with Richmond Bridge. As the area filled with wealthier inhabitants, the riverfront's importance as a place of leisure increased and included working boatyards to supply this demand.

Richmond Lock and footbridge opened in 1894. The popularity of the motor car saw a number of road improvements in the early 20<sup>th</sup> century, most notably the construction of the Great Chertsey Road and Twickenham Bridge (opened in 1933). The redevelopment of large houses continued, and notable buildings of the time include the Odeon cinema of 1930 and the railway station of 1937.

The Thames is a major contributor to activity in the area and today adds to an active daytime and night-time economy, housing a number of businesses including many bars and restaurants. Its association with leisure remains strong with public gardens and towpaths forming a popular destination for pedestrians, joggers, and cyclists. The Area is well connected to its surroundings, with the riverfront walkway providing access to residences, pubs, terraces, various greens, as well as multiple lanes and footpaths through Richmond. Much of the Riverside was restored in a neo-Georgian style by the architect Quinlan Terry from 1984-87.

## Archaeology

The Conservation Area is partly within the Richmond Palace Archaeological Priority Area (APA), which also includes part of the adjacent Richmond Green Conservation Area, within which the above ground palace remains are located.

The APA covers the site and immediate environs of an early medieval manor house, and the site of a series of moated medieval palaces. Some Tudor buildings remain on site, while other elements and structural features of the Tudor palace were incorporated into the 17th to 18th century houses and residences that remain on site.

There is a history of positive archaeological interventions within the APA. It is classified as Tier 1 as it covers the site of an important Lancastrian and Tudor palace that played a significant role in the formation of the wider religious and royal landscape of Richmond.

Tier 1 is defined as an area which is known, or strongly suspected, to contain a heritage asset of national significance (a scheduled monument or equivalent); or is otherwise of very high archaeological sensitivity.

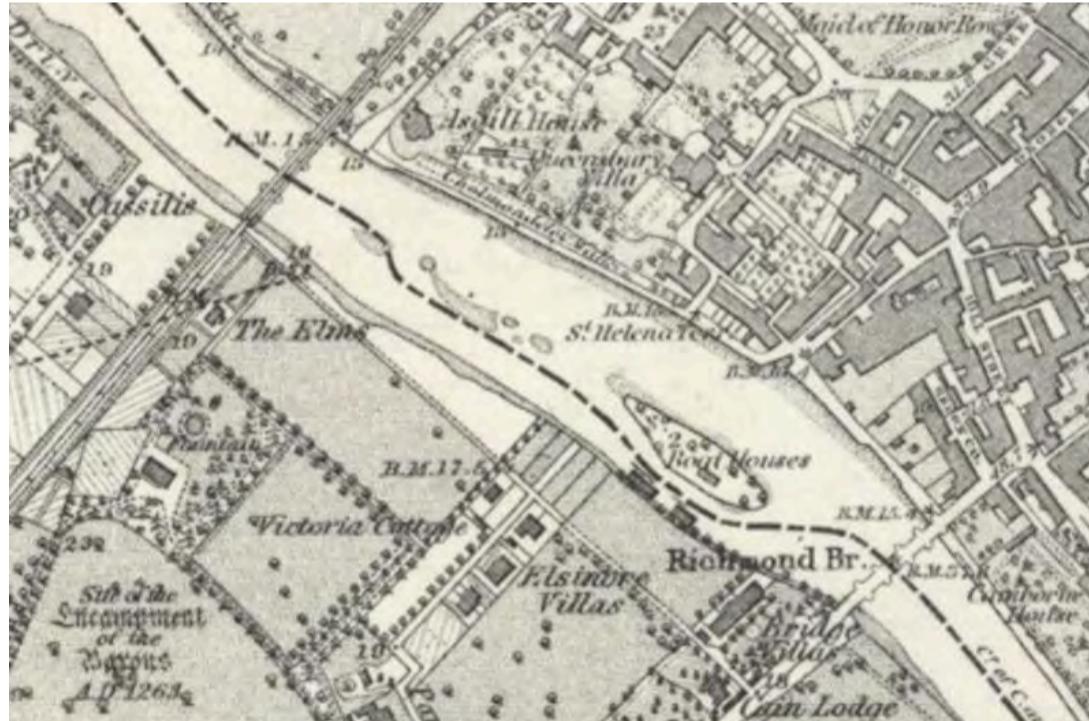


Figure 5 OS map, 1860s



Figure 6 OS map, 1890s



Figure 7 OS map, 1910s



Figure 8 OS map, 1930s



Figure 9 Thames towpath, 1895



Figure 10 Richmond Riverside, c.1856

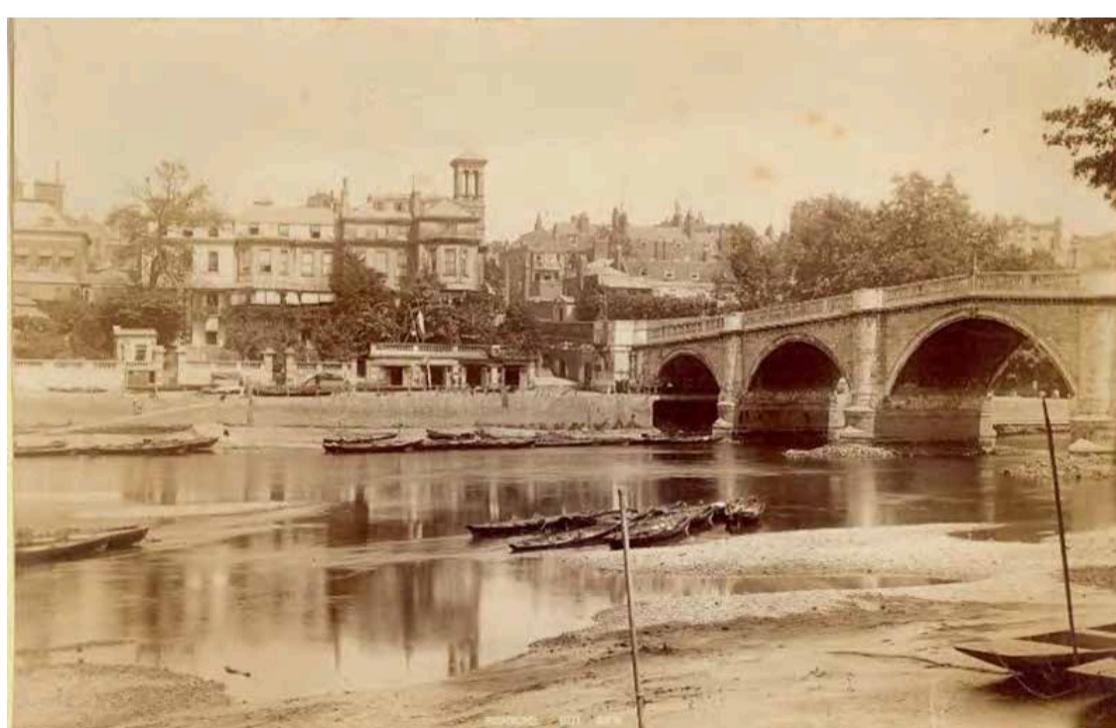


Figure 11 Richmond Bridge, c.1875



Figure 12 1880 Drawing of Tollgate on Richmond Bridge



Figure 13 1820 Drawing of Richmond Bridge

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## 5. Architectural Quality and Built Form

Dominant architectural styles, the prevalent types and periods of buildings, their status and essential characteristics, and their relationship to the topography, street pattern and/or the skyline. Also important is their authenticity, distinctiveness and uniqueness of materials, design, form, texture, colour etc.)



Figure 14 Rear of buildings on Hill Street as viewed from Richmond Bridge



Figure 15 View of the Twickenham bank as viewed from Richmond Bridge

The Richmond Riverside Conservation Area covers both banks of the River Thames between Richmond Bridge and Twickenham Bridge and continues north to include the Richmond bank of the river up to and including Richmond Lock. The Conservation Area also includes Park Road on the Twickenham bank, and on the Richmond bank it extends to join the Richmond Green Conservation Area including Old Palace Lane. The river is a unifying element in the character of the Conservation Area, in which there are great variations in townscape character within short distances.



Figure 16 View of the River Thames and houseboats

The Conservation Area can be divided into three areas of similar character. Firstly, the area to the north of the railway line is accented by the three large engineering features of the railway bridge, Twickenham Bridge and the twin footbridges at Richmond Lock (all listed). These are the only dominant features in an area where both banks of the river have dense vegetation and are largely rural in character. Second is the Twickenham bank which has a semi-rural character, consisting of residential developments on the bank in a green setting and a plethora of houseboats hugging the riverbank. Thirdly, the Richmond bank is characterised by a well-ordered urban townscape of fine buildings set on the rising bank in a formally landscaped setting. There is a distinct contrast between the urban character of the Richmond bank and the semi-rural character of the Twickenham bank, which is further emphasised by the vegetation on Corporation and the Flowerpot Islands.

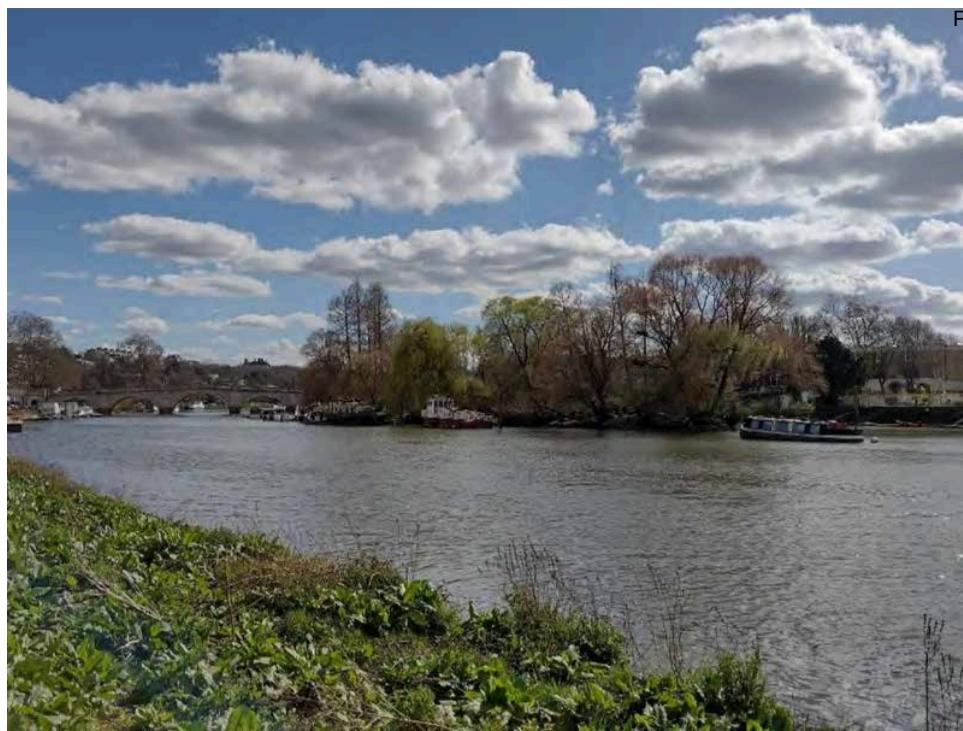


Figure 17 View of the River Thames and Corporation Island

## Spatial Analysis

### Landscape, Landmarks and Vistas

From the Twickenham bank occasional views across to the Richmond bank from Ducks Walk and Willoughby Road are quite varied, ranging from views to the formal Richmond Riverside development, shorter and more intimate views to Corporation Island, to views to the more formal grounds of Trumpeters' House and Queensberry House. Views across to the Twickenham bank from Richmond Riverside are green and suburban in character.



Figure 18 Asgill House



Figure 19 Asgill House as viewed from Cholmondeley Walk

Framing the space at its northern end, adjacent to the railway bridge are Asgill House, listed Grade I, and The Elms, a Building of Townscape Merit. Asgill House was designed by Robert Taylor in 1767 as a weekend retreat for Sir Charles Asgill, Lord Mayor of London. It is an

exuberant composition of three storeys stone faced with rusticated ground floor. These are freestanding buildings of high quality, prominent from both the towpath and the railway. The buildings act as gateways to the formal space of the riverside as viewed from the towpath but, more dramatically, as viewed from passing trains. The approaches to the bridge, tightly enclosed by vegetation, heighten the drama and surprise of the crossing and the two buildings frame the vista to the prominent Richmond Riverside development, Richmond Bridge and Richmond Hill beyond.

## Richmond Bank

Richmond Bridge is the gateway to the town from the west. It allows many fine views and vistas of the river environment, both into the Conservation Area and south towards Richmond Hill. It provides a dramatic and high-quality image to the town. However, views from the bridge are dominated by the Richmond Riverside development of 1988 by Quinlan Terry. A formal and well maintained stepped riverside terrace in front of the development emphasises the river as an open space for popular enjoyment.



Figure 20 Richmond Riverside and rear view of buildings on Hill Street

Downstream from the Riverside development, the bank retains its urban character but takes on a more intimate scale at St. Helena Terrace as the buildings are domestic and set much closer to the river edge above a row of boathouses. Granite sett paving and the boat houses with their brick piers and arched entrances with timber doors and bottle balustrade parapet add to this character. However, the presence of cars detracts from the well-maintained riverside atmosphere. Motorised traffic at busy periods conflicts with the leisure uses, especially boat launching and use of the public houses by pedestrians. Beyond the boat houses the urban character gives way to a more open landscape, with a fully pedestrianised towpath leading north to Twickenham Bridge and Richmond Lock and Weir.



Figure 21 Boathouses, St. Helena Terrace



Figure 22 Thames towpath

## Richmond Lock Area

North of Twickenham Bridge the character of the Conservation Area is strongly influenced by the proximity of the Old Deer Park. Almost continuous views into the park are possible from the towpath underneath the tree canopy lining the edge of the Park framed by obelisks. This part of the Conservation Area contrasts strongly with the more urban part to the south. From the lock are views looking north-westwards to the impressive façade and tower of Gordon House, a listed Grade II\* private residence formerly used by Brunel University. The Lock, constructed in 1891, was designed by the engineer F.G.M. Stoney (1837-97) and is a local landmark. It is listed Grade II\* and comprises two parallel 5 arched bridges of cast iron supported by stone piers with brick and stone lock houses at each end with elaborate ironwork to balustrades and lamps. Steps up to the bridge allow long views up and down stream.



Figure 23 View of the Twickenham bank

## Twickenham Bank

Freestanding buildings in a well-treed setting define the character of the Twickenham bank. The scale of the buildings reduces away from Richmond Bridge. At the northern end the area takes on a less urban character and as Ducks Walk gradually approaches the river, a more intimate relationship exists here between pedestrians and the river, emphasised by the narrowness of the path, its enclosure by walls and vegetation and the occasional views possible of houseboats and the river beyond. The informal siting and variety of building style on the bank are also a key characteristic of this part of the Conservation Area.

Located along this stretch of the River Thames are Corporation Island and the Flowerpot islands, which collectively play an integral role in the riverside as they are feature in key views and give a semi-rural ambience to this part of the Conservation Area.

Corporation Island is a small island between Richmond Bridge and Richmond Railway Bridge. Formerly known as Richmond Ait, its current name appears to derive from its owners, the Corporation of Richmond, now the London Borough of Richmond upon Thames. It is

uninhabited and there is no public access. The island is densely wooded with a range of tree species, that were planted in the 1960s after Richmond Borough Council felled the London Plane trees which had grown there. It is also home to a nesting colony of grey heron.

Just downstream from Corporation Island are the last islands on the Surrey stretch of the Thames, the Flowerpot Islands, which are two nearly circular islands covered in willows. Originally a single island, they were divided into two on the orders of the Duke of Queensbury in 1796 and subsequent tidal erosion has reduced them to the two tiny islets, or eyots.

## Buildings and Architecture

### Richmond Bank



Figure 24 Richmond Riverside

### Riverfront

The Conservation Area contains a number of important listed and non-listed buildings set in a townscape of international renown. This is most apparent at Richmond Bridge, itself listed Grade I, dating from 1777 by James Paine & Kenton Couse (though subsequently widened in 1937). The bridge consists of five moulded segmental arches and constructed of Portland Stone. Richmond Bridge's bicentenary was celebrated on 7 May 1977, and today is the oldest existing structure to cross the Thames in London. On the Richmond side of the bridge, there are business uses (e.g. café) in the converted arches beneath Richmond Bridge.

The construction of the Richmond Riverside development, completed in 1988, has helped integrate parts of the existing urban fabric comprising the listed buildings of the Palm Court Hotel and Heron House. The new development surrounding these buildings and the Town Hall emulates their grand Georgian and Victorian architectural style and the combination of existing and new build provides a rich tapestry of buildings that shape the urban space of the river frontage. The tiered urban space is popular with people for outdoor activities including alfresco eating and drinking.

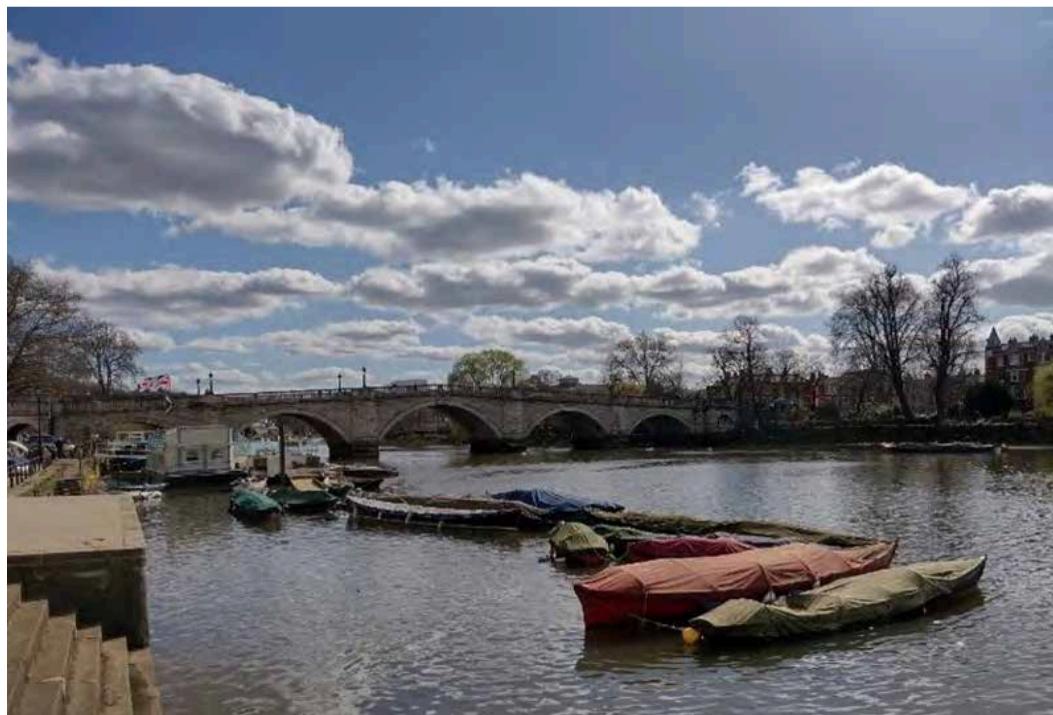


Figure 25 View of Richmond Bridge



Figure 26 View of Richmond Bridge from Bridge House Gardens (the Gardens are in the neighbouring Conservation Area of Richmond Hill)



Figure 27 Boathouses next to Richmond Bridge



Figure 28 The White Cross public house

The tower of the former Palm Court Hotel, numerous cupolas on the development and the 1930 Art Deco front of the listed Odeon cinema emphasise the drama of the gateway to the town. Beyond the slipway, the remainder of the Riverside part of the towpath is dominated by the White Cross Hotel, St. Helena Terrace, St. Helena House and 1-3 Friars Lane. The scale of the buildings gradually decreases as one moves away from the bridge, but the presence of St. Helena Terrace is heightened by the visual effect of sitting above the ground-level boat sheds.



Figure 29 Trumpeters' House

Beyond the built frontage the riverbank becomes Cholmondeley Walk and along this stretch are Queensberry House and Trumpeters' House. Queensberry House is an unusual and interesting composition of Classical, Edwardian and Arts and Crafts architectural elements. Dense vegetation prevents the full scale of the block being fully apparent from the river. Instead, interesting glimpses of the building and its gardens are possible as one walks along Cholmondeley Walk. This is in stark contrast with the powerful open vista of Trumpeters' House and its garden building directly facing the towpath. Clear views across the lawn are possible to the impressive frontage of this Grade I listed building; beyond Trumpeters' House, Asgill House marks the end of the formal 'town' part of the river front and stands out as an especially fine landmark building on the river front.

## Lanes and Alleys

The narrow side streets leading from the town centre and Green to the riverside are an important element in the townscape, providing varied approaches to the river but with a common element of surprise. Street patterns and building arrangements between the town centre and river are very organic as the area has been developed and redeveloped over time. The area between Bridge Street and Water Lane has a far more urban character and is physically closer and better linked to the town centre.

## Whittaker Avenue

Whittaker Avenue now forms part of the Richmond Riverside development. Views from the Avenue open up to the river, the bridge and the mansion blocks on the opposite bank. The listed war memorial forms a focal point at the end of Whittaker Avenue. The presence of parked cars by the war memorial can give a poor setting to views to it. The street is lined on both sides by large, impressive buildings. On the south side is the Old Town Hall and library of 1893 by W. J. Ancell, described by Pevsner as 'mixed renaissance' in style. The dramatically executed classical façade of the Riverside development provides a strong sense of enclosure and strengthens the contrast between the street and the open vista. Heron Square and Whittaker Place are internal courtyards, with an air of privacy and no shops or cafes.

## Water Lane



Figure 30 Water Lane

The narrowness of the street and the tall buildings lining it on one side, in conjunction with the remaining warehouses at the river end, give Water Lane an industrial character at the lower end, while a surviving row of small houses from the original development of this street, in addition to some more recent small scale residential development and a public house, create a more residential character on the northern side of the upper end towards Hill Street. Granite setts and cart tracks reinforce the historic character though the poor state of repair of the adjacent forecourt, yellow lines, and block paving detract from the traditional quality street surface. The drop in ground level down to the river, the gentle curve of the street and the occasional changes in the building line are also essential elements of the character of the street. The curve of the street ensures a continually changing visual experience, Water Lane House becoming apparent only when nearly opposite it.

Of note are the warehouses at the bottom of the street; no. 18 is visible for most of the street's length, a good quality building which acts as a local landmark. The open space of the Thames Water tunnel entrance site and the smaller scale of the warehouse at no. 20 give a human scale to a small part of an otherwise large-scale formal townscape.

## Friars Lane

This lane has the most diverse townscape character of those linking the town and river. There is a wide variety of building styles and scale, but views are predominantly of backs of buildings and flank walls. Buildings of note include Queensberry House, which has a busy and interesting elevation despite being the 'back' of the building. Incorporated into the boundary wall is a listed gazebo which appears as a small tower building sitting within the grounds of Queensberry House. A row of large mature trees in front are important in softening the contrast in scale with the listed Queensberry Place opposite. Friar's Lane Car Park, which appears to be a well-utilised space for parking, is very poorly surfaced and jars with the residential character of the lane and surrounding properties. The workshops at the north end are an interesting group with their own distinct character. High walls and mature trees in the grounds of The Retreat give the area a sense of enclosure and seclusion.



Figure 31 Friars Lane



Figure 32 Friars Lane showing tidal flooding

## Old Palace Lane

As one moves away from the town centre, the lane gradually changes from a distinctly urban character to one more rural, with a strong sense of enclosure due to its winding and narrow nature, its length and the large number of mature trees, particularly at each end of the lane. There is a varied palate of architectural styles to be appreciated, from red brick semis and terraces at the northern end to modestly scaled terraced cottages to the south. Before Old Palace Lane terminates at the river, there is Asgill House, a fine Palladian villa that stands on the site of the brewhouse of Richmond Palace. It was designed by Sir Robert Taylor and built in c1760 for Sir Charles Asgill, a wealthy banker, who was Lord Mayor of London in 1757-58, as a summer residence. From the late 1800s it was the home of James Hilditch, mayor of Richmond 1899-1900 and son of the painter George Hilditch. The house was sensitively restored in 1969-70, when the Victorian additions were removed. It is owned by the Crown Estate and Grade I listed.



Figure 33 6-8 Old Palace Lane



Figure 34 14-24 Old Palace Lane



Figure 35 The White Swan public house

At the north end of Old Palace Lane is one of two access lanes to Old Palace Yard, which is primarily characterised by tall boundary walls which lead to the yard itself. Old Palace Yard is a peaceful and secluded open space of high townscape and architectural quality which is primarily within the Richmond Green Conservation Area. On the south side of the Yard, within the Riverside Conservation Area, are the Trumpeter's Inn (BTM) and Trumpeter's House (Grade I), built on part of the former site of Richmond Palace. Trumpeter's Inn has a forecourt which opens up the lane and contributes to a sense of openness with the Yard, and its smaller domestic scale and set back construction indicates its subservient nature and later construction. The more robust Trumpeter's House is more grand in its appearance and encloses the Yard, but its primary elevation and deep front garden face the River, and thus its character is more closely tied to riverside development.

 Figure 36 Trumpeter's House

## Twickenham Bank

It is only near Richmond Bridge and the railway bridge that there are any buildings of particular note. In Willoughby Road one encounters the two most important buildings in this part of the Conservation Area: Willoughby House (Grade II) with its slender campanile is a distinctive local landmark which originally faced directly onto the river frontage, and Richmond Bridge Mansions provide a high-quality townscape setting for the Bridge. It is now the strongest landmark building on the Twickenham bank, a dominant form viewed from Richmond Riverside. At the junction with Willoughby Road, Richmond Road widens out to give access to a slipway alongside the bridge. This creates a small open space of good townscape quality, trees either side providing enclosure before emerging onto the bridge.

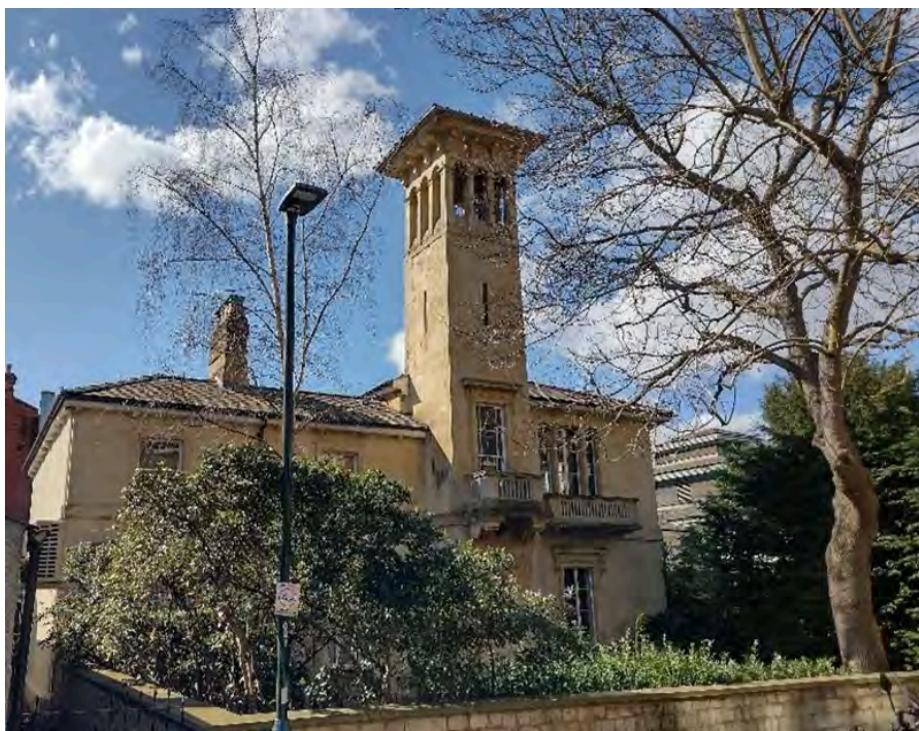


Figure 37 Willoughby House

Willoughby Road and Ducks Walk are primarily pedestrian routes and form part of the riverside path between the railway bridge and Richmond Bridge. Most of the path is traffic free. Ducks Walk, with its large open setting, provides welcome views out to the river and its opposite bank, as a contrast to the enclosure of the footpath. Key characteristics of this part of the route include the semi-rural appearance of freestanding buildings on varying building lines in a very green setting, a variety in building styles and materials and a reduction in scale and height as one moves downstream.



Figure 38 Willoughby Road



Figure 39 Richmond Bridge Mansions



Figure 40 Richmond Bridge Mansions entrance



Figure 41 Ducks Walk



Figure 42 The Elms from Ducks Walk

From Ducks Walk the path takes on a far more secluded and enclosed character. Occasionally views are possible of houseboats and associated gardens, reinforcing the relationship with the river as it draws closer to the path. Just before the railway bridge the vegetation stops abruptly on the left, suddenly revealing a clear vista to the impressive facade of The Elms, framed by mature trees and rising slightly above the sunken garden. Original railings survive along the path but are partly obscured by the raised path and are in a poor state of repair.



Figure 43 Original railings of The Elms

## Bridges

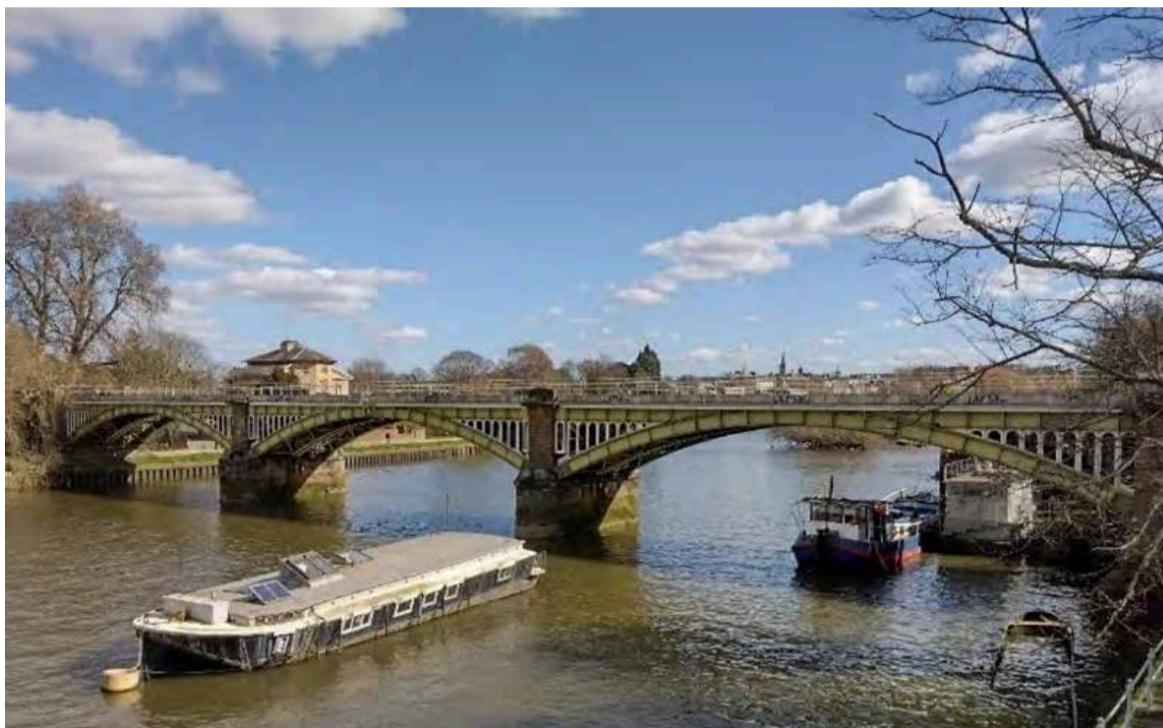


Figure 44 Richmond Railway Bridge



Figure 45 Detail of Richmond Railway Bridge

Beyond The Elms the path returns to the riverside and is dominated by the presence of the railway bridge and Twickenham Bridge. A focus for the space between them is the interesting hexagonal access shaft to a tunnel under the river used by the water authority. It is enclosed by railings and sits on an open area of green space. An identical structure sits directly opposite on the Richmond bank. The 1908 railway bridge is an impressive structure, similar in design to the footbridges at Richmond Lock and Barnes Railway Bridge. Restrained but elegant, its colour scheme fitting well with its surroundings; it includes a short viaduct of six well-proportioned and well detailed arches.



Figure 46 Tunnel access under river, Richmond bank



Figure 47 Tunnel access under river, Twickenham bank



Figure 48 Richmond Lock footbridge

The Richmond Lock footbridge, constructed in 1891, is more elegant and refined, designed by the engineer F.G.M. Stoney (1837-97) and forms a local landmark. It is listed Grade II\* and comprises two parallel 5 arched bridges of cast iron supported by stone piers with brick and stone lock houses at each end with elaborate ironwork to balustrades and lamps. Full uninterrupted views of the bridge in its setting within this straight stretch of the river are possible from many points on the towpath.

Twickenham Bridge was constructed as part of the Great Chertsey Road project and completed in 1933 by Maxwell Ayrton. Now listed Grade II\*, the bridge is distinctly interwar in design with Art Deco detail including decorative bronze cover plates that emphasise the three structural hinges of each arch. These hinges draw attention to the prominence of the bridge's technical virtuosity as the first large three-hinged concrete arch bridge to be built in the United Kingdom.

The distinct design and materials of the bridge contrast strongly with the railway bridge and footbridges. Its sleek design of five arches (three of which are over the river), use of concrete and wide shallow spans reflects the confidence of the emerging new age of motoring and its connotations of speed; its monumental staircases, tall integrated lamp standards and bronze railings reinforce its presence in the riverside landscape.

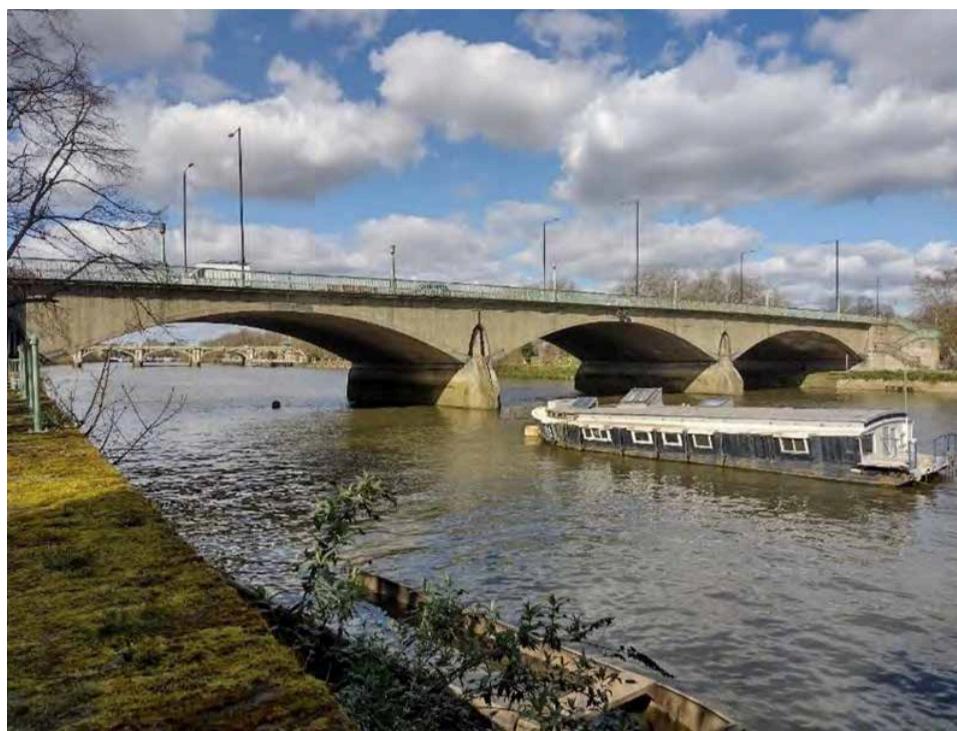


Figure 49 Twickenham Bridge



Figure 50 Steps of Twickenham Bridge

## Park Road

Park Road consists of many good examples of ornate and imposing Victorian houses, mainly two to three storeys in height and constructed of brick with canted bays to fronts and slate roofs. These are interspersed with a number of modern builds of varying materials, sizes and design. Many boundary walls have been lost to provide parking, weakening the boundary definition. In addition, some inappropriate replacement windows have been installed, which serve to dilute the character of the street. The street is well provided with trees, especially on the west side and north end, and the views along the street are terminated by mature trees to the north and by the flats at Old House Gardens to the south giving the street a sense of enclosure.



Figure 51 General view of Park Road



Figure 52 5 Park Road



Figure 53 Villa style houses on Park Road



Figure 54 Deniel Lodge, Park Road



Figure 55 16-24 Park Road

## Townscape Details

### Open Spaces, Trees & Soft Landscaping

The primary green public realm within the Conservation Area is Richmond Riverside Park on the east bank of the Thames. This formal arranged space is a stepped garden with abundant seating provided and offers sweeping views across the river as well as up and down stream. The space is very active with pedestrians and serves as a meeting point along the embankment. The majority of the park is laid to lawn with paved walkways. On the northwest side, a line of mature trees flanks a set of stone steps which lead to the Richmond War Memorial.

A less formal green space is also located on the east bank along the stretch of Cholmondeley Walk. This area essentially serves as a flood plain but offers a stretch of lawn along the towpath contributing to a countryside feel. The properties which front this area contribute to this character, with hedge lined boundaries and an abundance of mature planting within their large gardens. The west side of the path has been left to wild, which gives the impression of a country lane and presents a stretch of biodiverse landscape to the Area.

Similarly, to the west bank, although the area is private, deep front gardens and established plantings create a green landscape. Within the river itself, the three small islands covered in mature trees contribute to a strong verdant character.

### Paving and Hard Landscaping

Despite a relatively small area, there are an abundance of paving types evident throughout the CA, ranging from more modern landscaping details within the public realm to more historic setts along historic routes such as Water Lane. Materials are primarily stone, and a variety of type and colours are presented, with a consistent neutral palette, and all are demonstrative of a high quality. There is a limited use of muted colour bricks in basket weave pattern.



Figure 56

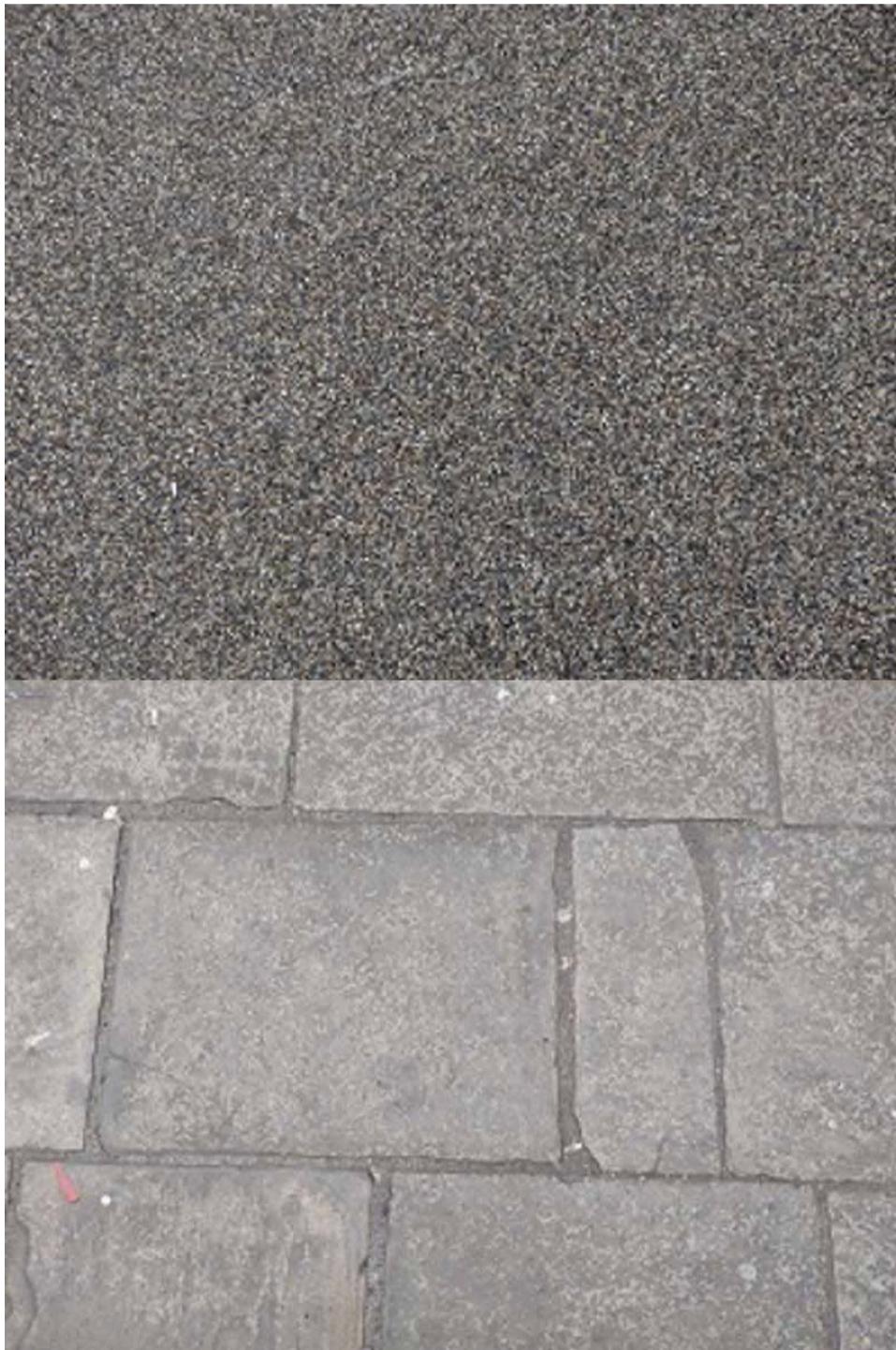
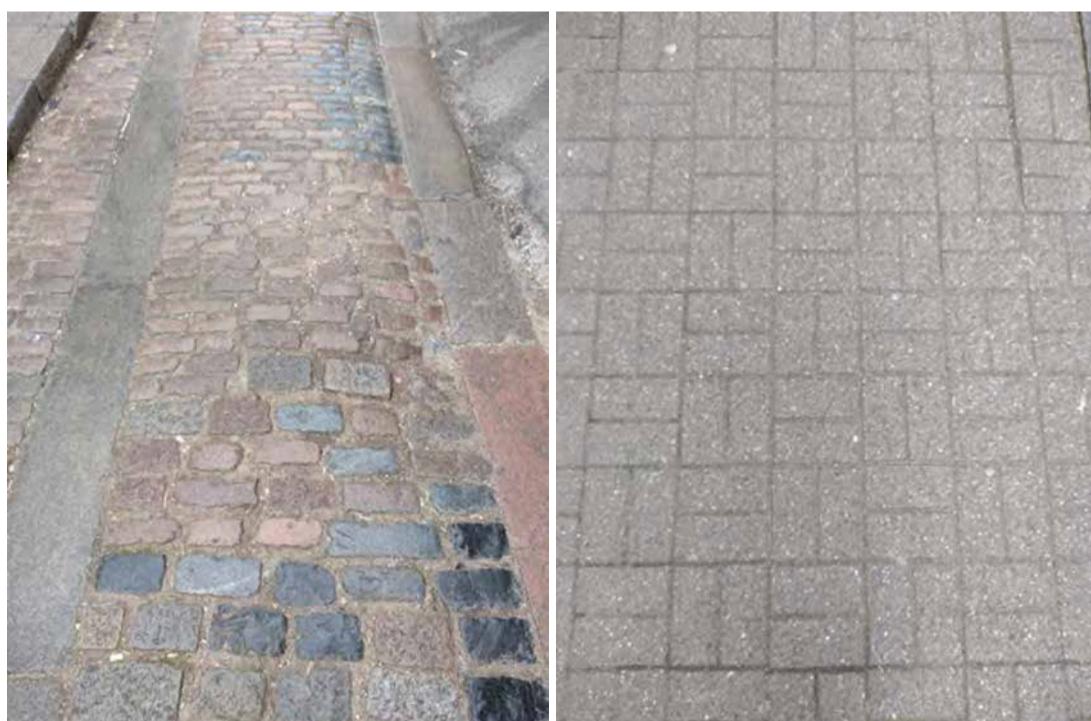


Figure 58



Figure 60



## Street Furniture

### Lampposts

Lampposts within the Conservation Area are more decorative than the standard borough posts found in Central Richmond. The posts are black and topped with a Victorian inspired four-sided lantern supported by delicate tendrils. Near the top are two short projecting arms which can support hanging baskets or banners. Lighting has been upgraded to LED.

**Bins**

Bins are generally very simple paired litter and recycling in a rectangular unit are made of metal instead of plastic. As with most street furniture, they are black in colour, with gold lettering. There are a small number of 'jubilee' style plastic bins along the towpath which are standard throughout the borough.

**Bollards**

There is a mixture of bollards within the area including a group of historic bollards between Riverside and Cholmondeley Walk. Other bollards are generally of a simple standard design in black.



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# 6. Management Strategy

## Summary

The Appraisal has assessed the quality and the condition of the Richmond Riverside Conservation Area. Several site visits were undertaken between August 2022 and April 2023, when the area was observed and photographed.

This Appraisal has summarised the strengths and weaknesses of the area and this management plan will set out a strategy to consolidate and enhance these strengths and prevent erosion of the area's special historic and architectural character.

The Conservation Area is well maintained, and it is hoped that this clearer, more extensively illustrated Appraisal will assist the Development Management process in making more informed planning decisions in respect of the Area's character. It will also assist applicants to ensure their proposals contribute positively to the preservation or enhancement of the Conservation Area.

Under section 71 of the Planning (Listed Buildings and Conservation Areas) Act 1990 local planning authorities have a statutory duty to draw up and publish proposals for the preservation and enhancement of Conservation Areas in their area from time to time. Regularly reviewed appraisals, or shorter condition surveys, identifying threats and opportunities can be developed into a management plan that is specific to the Area's needs.

## Problems and Pressures

### Routes and spaces

- The Thames Water area between the warehouse at 20 Water Lane and the White Cross Hotel is cluttered and untidy in appearance, and has a somewhat neglected feel.
- Friars Lane car park is rather stark in appearance.

### Street furniture and materials

- The railings on the towpath between Richmond Bridge and Friars Lane are in a poor condition.
- The surface materials of Water Lane are in need of repair in many places.
- At the end of Water Lane, the slipway and its walls are in poor condition.
- Twickenham Bridge - in need of localised repairs and graffiti removal: loose stonework in places; a regular victim of graffiti.

### Buildings

- Heron Square is lacking in active uses and pedestrian activity.
- Many of the boathouses at St. Helena Terrace are in need of repair.
- The condition of the facing brickwork on the railway viaduct is poor in many places.
- A number of properties in Park Road have suffered from unsympathetic minor alterations, especially removal of boundary walls for car parking.

### Eyesore sites

- The walls and surface of the slipway at the bottom of Water Lane are in a poor state of repair.
- The above-mentioned area outside the White Cross Hotel and Thames Water site at the end of Water Lane is cluttered and unsightly.



Figure 56 Riverside view with railings and cobbles



Figure 57 Water Lane slipway, with tarmac in poor condition



Figure 58 Abundance of bins and clutter between 20 Water Lane and the White Cross Hotel

## Opportunities for Enhancement and Recommendations

- Preservation, enhancement and reinstatement of architectural quality and unity that is preferably based upon historic evidence.
- Seek to encourage good quality and proportionate design and better-quality materials that are sympathetic to the period and style of the building.
- Continue improvements to paving and street furniture throughout the Conservation Area. Paving and street furniture changes should accord with the guidance in the Council's [Public Space Design Guide](#).
- Encourage the reinstatement of appropriate walls, railings and hedges to boundaries throughout the Conservation Area, with specific attention to Park Road. Also encourage improvement of existing boundaries where necessary.

- Carry out maintenance to the Water Lane slipway surface and walls.
- Encourage the repair, restoration and use of the boathouses at St. Helena Terrace to match those beside Richmond Bridge.
- Investigate the potential for removing parked cars in front of St. Helena Terrace to improve conditions for pedestrians and allow the removal of yellow lines.
- Simplify the cluttered area between the White Cross Hotel and Thames Water site at the end of Water Lane.
- Water Lane: pursue paving improvements with the retention of the existing granite setts.
- Friars Lane car park: surfacing and landscape improvements to Friars Lane car park.
- Protect key views, such as to Trumpeters' House.
- Maintenance of Twickenham Bridge - consolidation of stonework and metalwork and cleaning of graffiti when necessary.
- Riverside design guidance to be developed in accordance with the Council's Urban Design Study and Thames Landscape Strategy.
- Street scene general guidelines: existing areas of high-quality paving (such as stone and granite) should be maintained and extended if possible. Established patterns of street furniture should be continued or refer to the Council's Public Space Design Guide. Colour street furniture generally black.

## Design Guidance

Historic England recommends that the Appraisal is also a source of guidance for applicants seeking to make changes that require planning permission, helping to make successful applications.

The guidance below will set out design guidance which encourages good quality of design, which will help to both preserve and enhance the Conservation Area.

Dwellings within the Conservation Area which are blocks of flats do not benefit from Permitted Development Rights, requiring planning permission to carry out alterations and extensions.

## Windows

Windows make a substantial contribution to the appearance of an individual building and can enhance or interrupt the unity of a terrace, so it is important that a single pattern of glazing bars should be retained within any uniform composition. Generally, windows follow standard patterns/styles. In Georgian and early-mid Victorian terraces, each half of the sash was usually wider than it was high, but its division into six or more panes emphasised the window's vertical proportions. Later Victorian and Edwardian buildings often employed a simpler pattern, with the top and bottom sash either having one large pane, or a single central glazing bar. Casement windows are also common in later buildings. Warehouse buildings generally had darker frames with many panes of glass and used either timber or metal frames – often only a small section of the much larger window could open, either by swivelling or in a casement style. These windows are a significant element of typical warehouse design and their retention integral for the legibility of the buildings historic use.

A high degree of original timber framed windows survive within the Conservation Area, and these make an important contribution to the special character and appearance. Where replacements have been required, these generally match the existing appearance and retain the building's integrity. Replacements of a different style and materiality can be unsympathetic to the historic appearance of the building and Conservation Area and can be disruptive to the harmony and rhythm of legible groups and create inconsistencies within otherwise congruous terraces.

The quality of replacements can also vary, potentially diluting the consistent appearance of building groups, with some mimicking historic style while others employ inappropriate uPVC and casement windows. Common issues with replacement timber sashes include being of a poor quality, with thicker frames and higher reflectiveness, varied horn details, and a variety of glazing bar formats. Casement windows often have wider frames which create larger or overlapping gaps to their hinges, giving the impression of two windows rather than a single window in two parts.

It is encouraged that, in the first instance, original timber windows are retained and repaired. If replacement is required, all aspects of the window should be considered including opening type, glazing bar pattern, horns to sashes, and depth. New windows should be timber and are often best informed by surviving examples within the building or in the context of its setting. Timber frames are not only the most appropriate option, but a natural material which helps reduce the use of plastics, often found in other windows. Timber windows also have the benefit of being more cost effective, being much more durable and repairable than alternatives, and there are options to maintain their appearance while introducing energy saving and noise reducing features.

Single glazing is perhaps the most common window type. As such, simple like-for-like replacements would likely cause the least harmful impact on the existing appearance of a building and therefore the character and appearance of the area. Like-for-like replacements also benefit from being able to be carried out without the need for planning permission. Existing windows can often be improved through secondary glazing, where an additional glass layer is installed behind an existing window. Secondary glazing is an unobtrusive option to increase efficiency, reduce noise, and avoid intervention to existing fabric, often performing as well, and lasting longer than double glazing. This approach also often benefits from not needing planning permission. Where appropriate and where there is justification for full replacement, slimline double and triple glazing with timber frames helps maintain a consistent appearance, while offering similar benefits to secondary glazing. Where double/triple glazing is accepted, black spacing bars and seals should be avoided – these should instead be white to blend with the frame. Trickle vents should be avoided or well concealed within the frame to maintain consistency with historic appearance.

Windows to contemporary development can vary in detail but it is still important to consider their design and proportions in relation to the character of the area.

## Doors

Like windows, it is encouraged that residents, in the first instance, retain and repair any existing original timber doors. This is best for the environment, for the character and appearance of the area, and is often a more inexpensive solution than complete replacement. Simple modifications can often be carried out internally which improves the weatherproofing of the door without impacting its external appearance. If a replacement is required, it should match the original door for the property in style and materiality. Doors are typically simple timber four panel doors to Victorian buildings, and six panel doors to Georgian. Where decorative doors form an integral part of the character of an area or group, modern replacements or alternative designs will be resisted. Existing styles of doors in the area generally manage to reflect the architectural style in which they are set, and original examples make a great contribution to the character of the area.

## Roof Extensions

Roof extensions are uncommon and there is a consistency in scale within the area which contributes to its special character and appearance. Where limited roof alterations have occurred, these are sympathetic to the host building, as well as to the surrounding context in terms of scale and level of intervention. Rear dormers are generally employed given their small scale and ability to be well concealed from the public realm. Consistent roofscapes can be harmfully impacted by extension where the uniformity is broken. This is also the case for extensions which project above established and consistent building heights.

## Gardens

Several properties in the area benefit from large gardens, many of which have river frontages. These make a positive contribution to the landscape setting of houses, adding to the leafy verdant character of the Conservation Area. Full hard-surfaced frontages are generally uninviting and lessen the separation between the public and private realm, compromising the intended setting of the built environment. For these reasons, along with environmental and ecological reasons, they should be avoided.

## Boundaries

Boundary treatments vary throughout the area and include a mix of brick, timber, and natural options such as hedging or other planting, often a mixture of different elements, particularly to residential properties. This variety gives a more informal, rustic appearance, and overly formal and robust boundaries would not suite the character of the area.

## **Painting and External Finishes**

Painting is rare within the Conservation Area and introducing paint to unpainted properties will be resisted. Painting should only occur if the existing location has already been painted, and an appropriate colour should be selected to maintain the overall neutral palette of the Conservation Area.

External finishes are not a common feature to the Conservation Area as a whole, and the approach to their treatment is similar to paint – where existing finishes can be repaired and restored, and new finishes not normally approved. The predominant character of the area is derived from the consistent use of brick with some details and dressings in white render and red brick.

## **Shopfronts and Signage**

There are a limited number of shopfronts within the Conservation Area and most commercial premises are generally pubs and restaurants, which often employ many of the same elements of traditional shopfronts in their design. The quality of these premises are a good quality with many good surviving historic elements. Should alterations be proposed, these should be retained and repaired in the first instance. Any new or replacement shopfronts proposed will need to maintain or improve the appearance of the existing shopfront or also follow these traditional designs as outlined by policies in the Local Plan, as well as the, the [\*\*Shopfronts\*\*](#)

[\*\*Supplementary Planning Document\*\*](#) 

Signage should replicate traditional styles with painted or applied letters to the fascia and simple hanging signs. Modern signage, including corporate branding, internally illuminated projecting box signs, and plastic / box fascia signs, will be resisted. Projecting signs should be of an appropriate scale and design, attached to the fascia or to the building in an unobtrusive manner. Where hanging signs are employed, these should use a traditional bracket and be of a simple design, as outlined in the Shopfronts SPD.

## **Shopfront Security**

Shopfront security can have an imposing impact on the appearance of the streetscape and create an uninviting atmosphere. For instance, projecting shutter boxes have a negative impact on the appearance of shopfronts and are not acceptable in Conservation Areas, nor are solid or perforated shutters. Instead, there are other systems which would be more suitable, and these are also outlined in the Shopfronts SPD and the [\*\*Design Guidelines for Shopfront Security\*\*](#)

[\*\*Supplementary Planning Guidance\*\*](#) 

Generally, shopfront security features are installed internally, which has benefited the appearance of the Conservation Area as a whole. For contemporary shopfronts, more passive security measures can be effective, such as laminated glass, which is not readily apparent and therefore mitigates security features from detracting from the appearance of the shopfront. Lattice brick-bond grilles can be installed internally behind the windows, with the box inserted into the ceiling – this prevents an external projecting box and the internal box from being visible through the shop window. This would allow for an appropriate level of security, while minimising the visual impact of shutters on the external appearance of the shopfront, and therefore on the Conservation Area. It also allows for passive observation by keeping the inside of the shop visible.

## **Energy Efficiency**

Introducing energy efficient measures can reduce carbon emissions, fuel bills, and improve comfort levels. It is important that the appropriate course taken should be informed by the context of the building being improved, with each building having different opportunities and restrictions. Not all solutions will be appropriate across the Conservation Area, and the 'Whole Building Approach' advocated by Historic England encourages a case-by-case approach, which fundamentally considers the context, construction, and condition of a building to determine

which solutions would be the most suitable and effective. More detailed advice can be found within the [\*\*Guidance Note Energy Efficiency and Historic Buildings: How to Improve Energy Efficiency 2018.\*\*](#)

## Solar Panels

Solar Panels and equivalent technology are most suitably placed on rear or side elevations where they are hidden from the public realm – principal elevations and roof slopes facing the public realm are less appropriate as they generally make the most substantial contribution to the character and appearance of the Conservation Area. New technologies, such as PV panels disguised as slates and sitting flush with roof materials, may be suitable in the appropriate context, and will be considered on a case-by-case basis

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## **Appendix 2**

# Commercial: Richmond Riverside

## RICHMOND RIVERSIDE

This is a large development of offices, flats, shops, two restaurants, community facilities, underground car parks, an urban square and riverside gardens and incorporates two listed buildings. It exhibits the richness of English 18th century architecture using a wide pallet of traditional materials, and all of the 5 architectural orders. It draws inspiration from the work of Palladio, Longhena, Sansovino, Hawksmoor, William Chambers and the Gothic Revival of the 19th century.

After 35 years the development is still very popular with locals and visitors and has mellowed and improved with age (unlike most 1980's developments) which is testimony to its robust solid wall construction and human scale.

## DETAILS

### Location

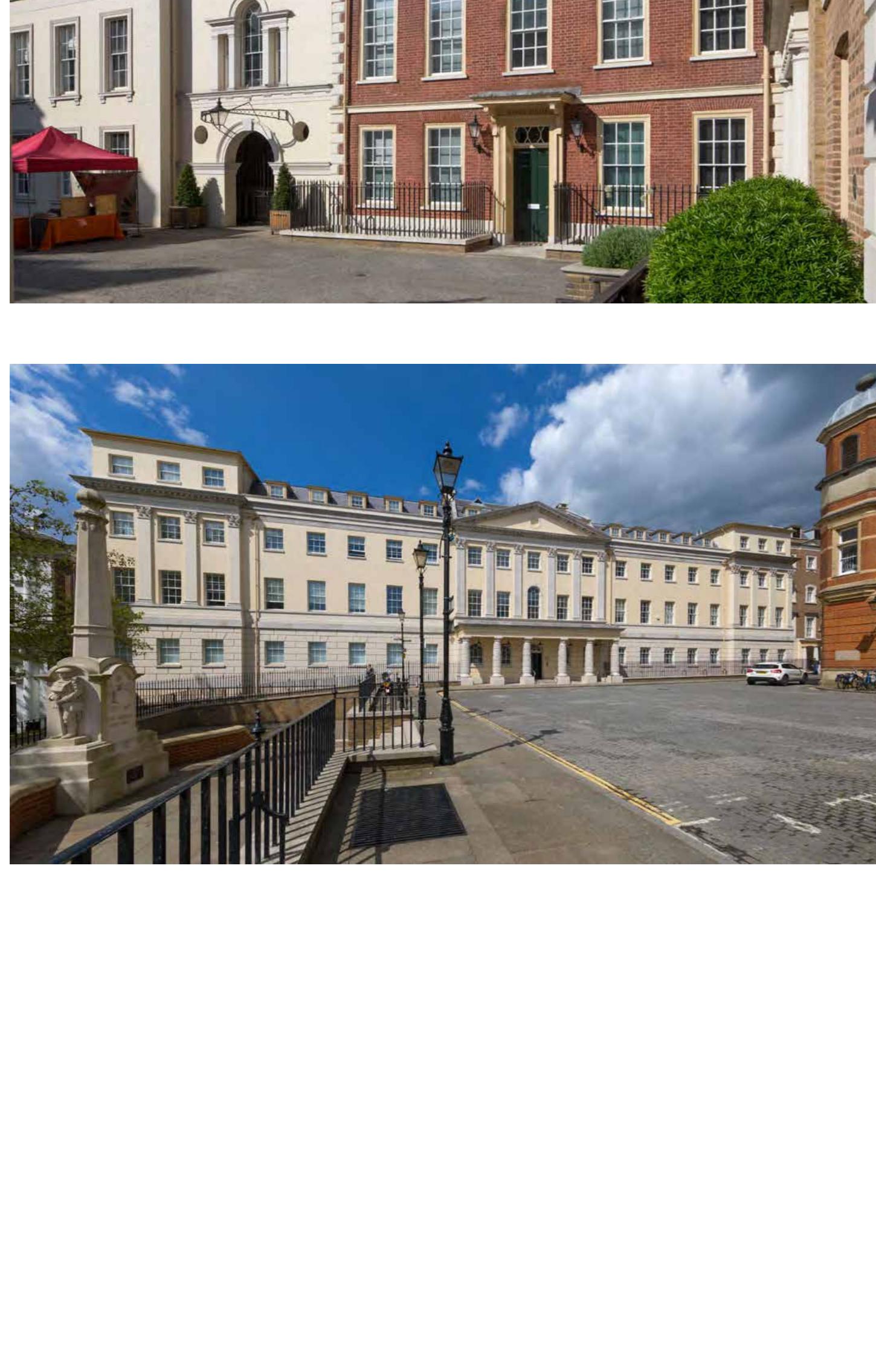
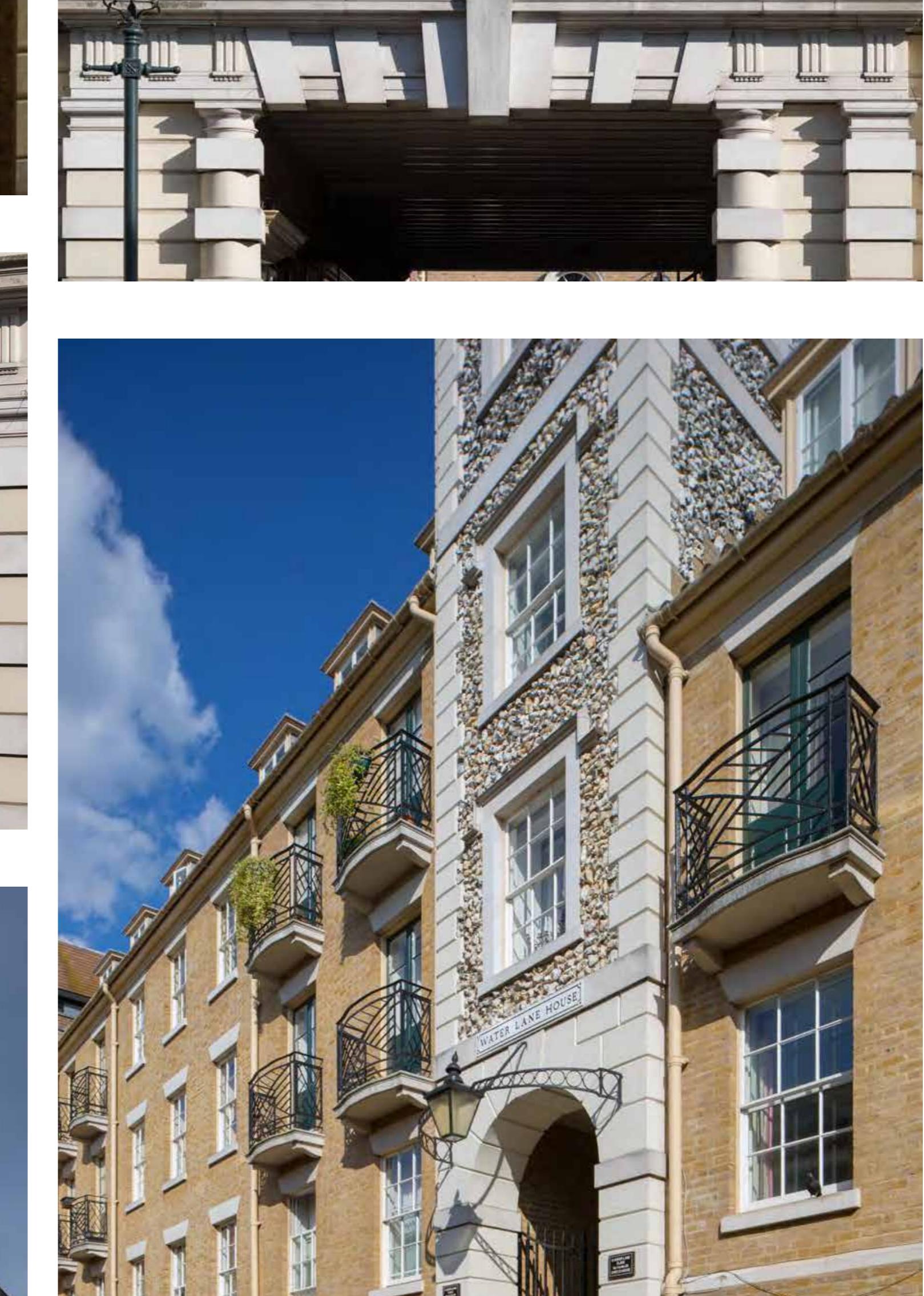
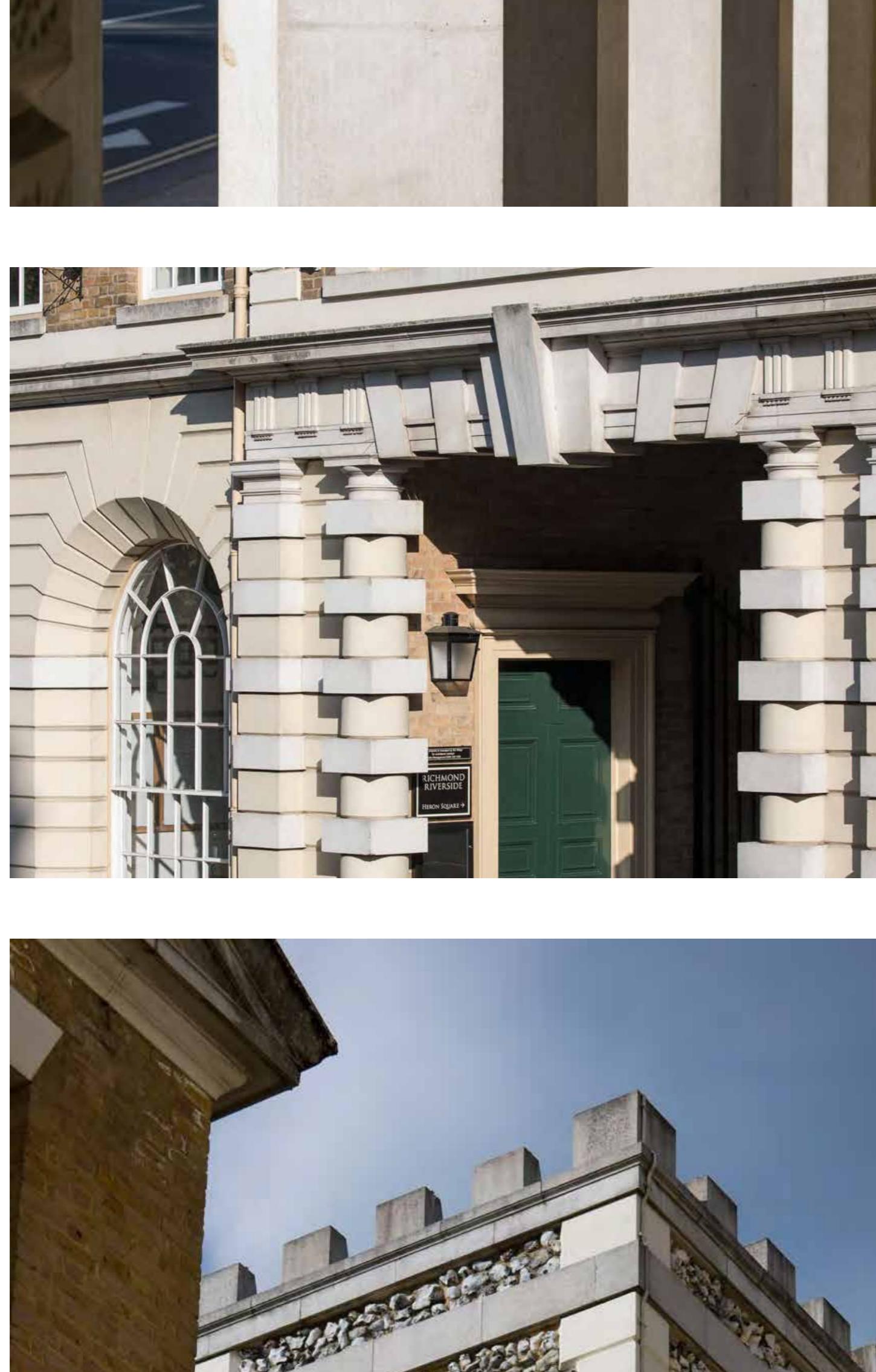
Surrey

### Year of Build

1984-87

### Awards

- 2008 – Philippe Rotthier Prix European d'Architecture for Urban Design
- 1990 – Johnnie Walker Architectural Award
- 1990 – Brick Development Association for Quality Brickwork
- 1989 – The Carpenters Award for Design and Joinery Work
- 1988 – The Richmond Society
- 1988 – The Richmond Society for New Housing in Water Lane
- 1988 – The Richmond Society for Landscaped Open Space for the Public
- 1988 – The Richmond Society for Heron Court Layout
- 1988 – The Richmond Society for The Restaurant Building on the Waterfront
- 1988 – The Richmond Society for Rehabilitation and Conservation of Tower House, Bridge Street.



## Baker Street

This offices on Baker Street between Bond Street and George Street. The two houses to the north are listed late Georgian.

## Colonial Williamsburg

Merchant's Square is a group of scholarly buildings inspired by English Georgian traditional architecture. They feature details such as Doric pilasters, rubbed and gauged arches, sash windows, weatherboarding and slate

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TERRY  
ARCHITECTS

QU

## **Appendix 3**

**Please refer to Appendix 2**

## **Appendix 4**

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

In general, first floor infill extensions between houses are resisted since they result in a terrace effect and the identity of the individual houses is lost. Indeed it is felt that the proposal as originally submitted would have had just such an effect and the application was not considered to be acceptable for this reason. With a set back of some 5.8 metres from the front elevations as now proposed, however, Members may agree that the extension will appear subordinate to the two houses. The gap and view of sky between the two houses will be lost but Members may feel that this loss is justified in order to upgrade the facilities of the home for the elderly

This site is densely developed and opportunity for further extension is severely limited. With regard to the current application, however, it is felt that the extensions will have minimal impact on neighbours, on the existing buildings, streetscene and conservation area and are therefore acceptable. In the circumstances I therefore recommend PERMISSION subject to the following condition and informatives:

**Standard Conditions:**

BD08 - Materials to match existing

**Standard Informatives:**

IF16 - Damage to public highway

IF30 - Noise control - building sites

IF44 - Decision Drawing Nos. - 910/03, 05, 07 and 08 received on 24 February 1992, 910/04E and 06E received on 25 June 1992 and 910/09C received on 23 July 1992

**RICHMOND HILL WARD**

**92/0659/FUL**

**TURKS BRIDGE PIER  
RICHMOND BRIDGE  
RICHMOND**

**Proposal:**

Mooring of Jesus College Barge against R J Turk pontoon for use as restaurant below and above deck.

**Applicant:**

Conoley & Webb for Mr O Williams and M J Turk

**Application received:**

8 April 1992

**Properties consulted:**

Hothan House No. 1, Bridge House No. 3, Basement, ground, first and second floors at Palm Court No. 4, Heron House No. 5, Heron Square

Flat at Tower House

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

**Main Development Plan Policies:**

RTAAP Policies 2, 3, 11, 14, 34, 35, 49, UDP deposit draft ENV 1, 3, 10, 11, 26, CET 2, RIV 4, 5, 7, 8, 9, CA, Tower House LB II, Metropolitan Open Land, Area of Special Character

**Present Use:**

River

**Site and Proposal:**

Turks Bridge Pier comprises a floating pontoon some 36 metres long by 5 metres wide which is located on the river immediately in front of the Richmond Riverside development and close to Richmond Bridge. It is intended to moor the Jesus College Barge against the pontoon on the land side close to the existing slipway. The Barge, a maximum of 19.3m long by 4.2m wide would be converted to a restaurant prior to its mooring. The restaurant would be used throughout the year; during the winter this would be "below decks" for approximately 70 covers and in the summer would be on the top deck below a canopy. The restaurant is to be used in conjunction with the River Terrace Restaurant and one of the under terrace boat stores will be used to gain access to the existing River Terrace Restaurant basement for servicing purposes. Pedestrian access to the barge will be from the pontoon via the existing gangway.

An application for Listed Building Consent Ref. 92/0969/LBC follows this report for the formation of an access between the boat store and the basement of the River Terrace Restaurant.

**Public and Other Representations:**

Historic Buildings and Monuments Commission - has no observations to make.

Conservation Areas Advisory Committee - the Panel were not opposed to the idea of a barge being moored at the pier but were very worried at the prospect of it being permanently moored. In particular, concern was expressed about what arrangements would be made for sewage, rubbish collection and noise emission. Concern was also expressed about the possibility of setting a precedent for other commercial boats to be moored permanently on the riverside. Perhaps temporary permission should be granted to allow the use to be monitored.

Thames Water Utilities - has no objection to the proposal.

Port of London Authority - fully supports this proposal although the licence currently granted to Turks would need to be amended.

National Rivers Authority - has no objection to make.

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

The Richmond Society - views the application with reservation. If permission were granted conditions should be imposed to minimise potential loss of amenity to residents and the general public and to ensure that facilities required are provided in a visually and socially satisfactory manner. Permission should be restricted to this boat only and be for a limited period, say 5 years.

Vehicular access and parking should be prohibited. Refuse storage and collection needs to be controlled and any supply cables/pipes must be laid underground to the side of the bank nearest the mooring. Sound levels must be restricted to a low level. Hours of use should be restricted to align with the other restaurants in the vicinity. The adequacy of the width of the brow is questioned. Colours, signage etc should all be supplied before a decision is made.

River Thames Society - two letters have been received from different branches of the Society:

1. The barge will restrict river traffic and prevent access to the river by other users since temporary moorings are in short supply.
2. How will foul sewerage be disposed of?
3. There will be excessive noise and disturbance to residents in the locality and other river users.
4. Have the regulations and recommendations of LPAC made in respect of floating restaurants been adhered to?
5. Is the development suitable for the conservation area?
6. What parking facilities are there?
7. What noise control limits will be applied?
8. Do the Port of London Authority and the City of London Port Health Authority approve?

Director of Health, Housing and Consumer Services - is concerned with regard to possible noise nuisance to residents on either side of the river.

Leisure Services Department - support the proposal which is consistent with policy to make the River Thames more available to the general public. Whereas the Department has, in the past, opposed floating restaurants in other location; eg. on the Port of London Authority pier at Richmond; it was because the restaurant would have interfered with the safe working of the regular passenger vessels servicing Richmond. In this proposal this criterion would not apply.

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

Richmond Riverside is an under-used public space which the floating restaurant would enhance. Its nature would emphasise the availability and attractiveness of the Riverside Development as well as the two adjacent piers offering passenger boat trips. The vessel has a good historical background and would complement the style that planning decisions have sought to achieve on this site recently.

**Neighbours** - 3 letters have been received raising objection on the following grounds:

1. Richmond is sufficiently provided with restaurants.
2. Lack of parking for this use and generally.
3. Servicing problems will arise and the towpath will be used.
4. Cables, pipes etc run to the boat will be unsightly.
5. Foul sewage disposal could cause problems.
6. The pontoon is in a poor state and the boat could be similarly neglected.
7. Barge will detract from visual quality of river scene and will also block views of the river from the land.
8. The riverside is already congested with people and cars, no further uses exacerbating this problem should be allowed.

**The applicants agent** - the barge is flat bottomed with a shallow draft enabling it to be placed between the pontoon and the river bank without being affected by the tides. This location will not affect the cruising business in terms of volume or function that is currently carried out from the pontoon.

Toilet facilities and a galley will be provided inside the barge and waste from these areas pumped into the pontoon which has a liquid waste storage tank.

The Jesus College Barge has an interesting history and is currently being refurbished in Sunbury. The character and visual appeal as well as the history of the barge make it a welcome addition to any river front and in this location would mirror in quality the eclectic architectural styles of the riverside development.

The applicant would be willing to accept a restriction that the permission relate to the Jesus College Barge only but would not accept a temporary permission. Further the applicant would be willing to consider refurbishing the toilets under the bridge for use by the public and people using the restaurant. This should not, however, be considered as part of the application.

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

**Amendments:**

As originally submitted part of the under terrace boat store was to be used for storage for the restaurant. As this was not favoured, the application was amended to provide access only through the boat store to the existing restaurant store. An application for Listed Building Consent to form an access between the rear of the Turks Store and the River Terrace basement store has been received, the report on which follows.

**Professional Comment:**

Members may be aware that several applications for floating restaurants have been received in the past for various locations on the River Thames but that these have been resisted. In these instances the locations have been outside commercial locations and therefore considered inappropriate. The current application differs in that the site is within the Richmond Town Centre Area where it is recognised that there is activity both throughout the day and evening. Indeed there are several restaurants/wine bars in and adjoining the Richmond Riverside development. Policy 34 of the Richmond Town Action Area Plan states that recreational use of the river and the riverside is to be encouraged and in the Unitary Development Plan deposit draft the site is within a 'C' reach of the river wherein again recreational uses of the river and river bank area to be encouraged. Although the proposal does not constitute a river related use, it would most certainly add to the riverside environment and activity at this particular location. The Unitary Development Plan deposit draft recognises that there are very few locations where a floating fixed restaurant would be acceptable since in most areas such a use would threaten the sensitive environment. I do not feel that such is the case with the current application. The barge would be tucked between the permanently moored pontoon and the hard edge of the river bank and will not therefore have any effect on the ecology of the river or on river navigation.

The barge has historic interest, is an attractive structure and is likely to enhance the river life and scene. The planning guidelines for permanently moored vessels and structures in the river produced by LPAC and referred to by the River Thames Society in their representation, states that vessels should enhance the river and should be orientated towards public enjoyment of the river. Furthermore the document states that floating structures should not detract from the setting of listed buildings or conservation areas. In this particular case it is felt that the Jesus College barge would make a positive contribution to the character and appearance of the conservation area and would not detract from the setting of neighbouring listed buildings including Richmond Bridge.

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

If Members accept that the siting of the barge and the use proposed are acceptable in principle then one must consider the effects of the operation of the restaurant on the area. In terms of servicing, this application and the accompanying Listed Building application make provision for servicing to take place from the existing basement to the Terrace Restaurant via one of Turks boat stores. It is important that no servicing by vehicles from the towpath takes place and conditions to this effect should be imposed on any permission that might be granted. Furthermore rubbish must not be stored on the pontoon or towpath since this would detract from the visual quality of the area. Liquid waste is provided for in the cesspit facility on the pontoon.

Objections on parking grounds are not felt to be justified since the site is within the town centre area where public transport facilities are good and parking is provided for in public car parks. Individual uses within the centre are not expected nor encouraged to provide their own private parking accommodation.

Since considerable expense will be incurred in refurbishing the barge, the applicants are not willing to accept a temporary permission and Members may agree that such an imposition would be unreasonable.

With regard to the activity on the barge and effect on local residents, the applicants state that the restaurant will provide a maximum of 70 covers and indeed the intensity of use will be necessarily controlled by the limited size of the galley and bar. Although a restaurant use will generate some noise; eating is generally a quiet social activity and a condition could be imposed prohibiting the playing of music. In any event the barge would be situated within the commercial area and residents who live in proximity to the town centre would expect a noisier environment than those in an exclusively residential area. The River Terrace Restaurant has a large outside area which is used for eating in fine weather and it is not felt that the current proposal would be materially different than this in terms of effect on neighbours.

It is not felt that the objection raised by the River Thames Society regarding restriction on river traffic and prevention of access to the river can be substantiated since the pontoon is private and is used for hire boats. It does not offer temporary moorings. Similarly I cannot agree that the barge will block views of the river but rather feel that it will add to the visual quality. Objection raised on grounds that there are sufficient restaurants in Richmond Town would be difficult to support since competition is not a matter over which the Local Planning Authority has control. With regard to concerns expressed on signage, the barge would be subject to normal advertisement control.

In the circumstances I consider that the proposal would make a positive contribution to both the character and appearance of this part of the river and therefore recommend PERMISSION subject to the following conditions and informatives:

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

**Standard Conditions:**

- DV28 - External illumination (Adapted) - delete "prior to the occupation of the buildings"
- RS03 - Restriction on playing musical instruments (Adapted) - delete "before...at any time"
- RS04 - Extraction equipment for restaurant

**Other Conditions:**

NS01 - The development shall not be carried out (unless the Local Planning Authority in writing otherwise agrees) other than in accordance with details to be submitted to and approved in writing by the Local Planning Authority, such details to specify the means of connecting any services such as water and fuel to the barge from the river bank.

NS02 - No goods, merchandise, materials or article of any description including refuse shall be stacked or stored anywhere other than within the barge.

NS03 - Servicing of the restaurant shall not take place at any time from vehicles parked on the towpath.

NS04 - This permission shall enure for the benefit of the Jesus College Barge only and shall not enure for the benefit of any other vessel unless the Local Planning Authority in writing otherwise agrees.

NS05 - The restaurant hereby approved shall not be used other than as part of the River Terrace Restaurant situated in Tower House.

NS06 - The maximum number of covers provided on the barge shall not exceed 70.

**Standard Informatives:**

- IF01 - Disabled persons
- IF20 - Soil and surface water drainage
- IF26 - Food hygiene
- IF28 - Restaurants - EHO consultation
- IF38 - Advertisements
- IF44 - Decision Drawing Nos. 3/1329.01, photographs of the barge, 3/1329/03 received on 8 April 1992 and 3/1329/02A received on 1 June 1992

PLANNING SUB-COMMITTEE - 20 AUGUST 1992

RICHMOND HILL WARD

92/0969/LBC  
TURKS BRIDGE PIER STORAGE VAULT  
RICHMOND BRIDGE  
RICHMOND

**Proposal:**

Forming of access between rear of Turks storage vault and River Terrace basement store.

**Applicant:**

Conoley & Webb for Mr O Williams

**Application received:**

1 June 1992

**Main Development Plan Policies:**

RTAAP Policy 2, UDP deposit draft ENV 11, CA, LB II, ADV

**Present Use:**

Boat store and restaurant store

**Proposal:**

This proposal accompanies the town planning application Ref. 92/0659/FUL previously reported. It is for Listed Building Consent for the formation of a door between the rear of Turks boat store under the River Terrace restaurant and the existing basement store for the restaurant. It is required to provide access so that the proposed barge may be serviced from the restaurant without the need to use the towpath.

**Public and Other Representations:**

Historic Buildings and Monuments Commission - have directed conditional Listed Building Consent.

**Professional Comment:**

No objection is seen to this minor alteration. I therefore recommend LISTED BUILDING CONSENT subject to the following conditions and informatives:

**Standard Conditions:**

LB04 - HBMC - Consent prior to work commencing - dated 22 June 1992

LB08 - Specified details required - the new door, door opening and steps

**Standard Informatives:**

IF44 - Decision Drawing Nos. - 3/1329.01, 3/1329/02A and 3/1329/03 received on 1 June 1992

## **Appendix 5**

# RICHMOND BRIDGE

## Official list entry

Heritage Category: **Listed Building**

Grade: **I**

List Entry Number: **1180951**

Date first listed: **01-Sep-1952**

List Entry Name: **RICHMOND BRIDGE**

Statutory Address 1: **RICHMOND BRIDGE, RICHMOND BRIDGE**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

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[Corrections and minor amendments](https://historicengland.org.uk/listing/the-list/minor-amendments/) (<https://historicengland.org.uk/listing/the-list/minor-amendments/>)

## Location

Statutory Address: **RICHMOND BRIDGE, RICHMOND BRIDGE**

The building or site itself may lie within the boundary of more than one authority.

County: **Greater London Authority**

District: **Richmond upon Thames (London Borough)**

Parish: **Non Civil Parish**

National Park: **N/A**

National Grid Reference: **TQ 17717 74514**

## Details

1. 5028 RICHMOND BRIDGE

Richmond Bridge TQ 1774 NE 20A/65 2.9.52 TQ 1774 SE 20B/65

|

2. 1777. By James Paine and Kenton Couse. Widened 1937. Portland stone. Five moulded segmental arches, rising gradually to the centre, which has the widest and tallest arch. Two land-bound semi-circular arches. Moulded semi-circular cutwaters. Bracketed cornice. Balustraded parapets, solid over cutwaters, above which are iron lamp standards. Now the oldest bridge over the Thames within the boundaries of Greater London.

Listing NGR: **TQ1772774527**

## Legacy

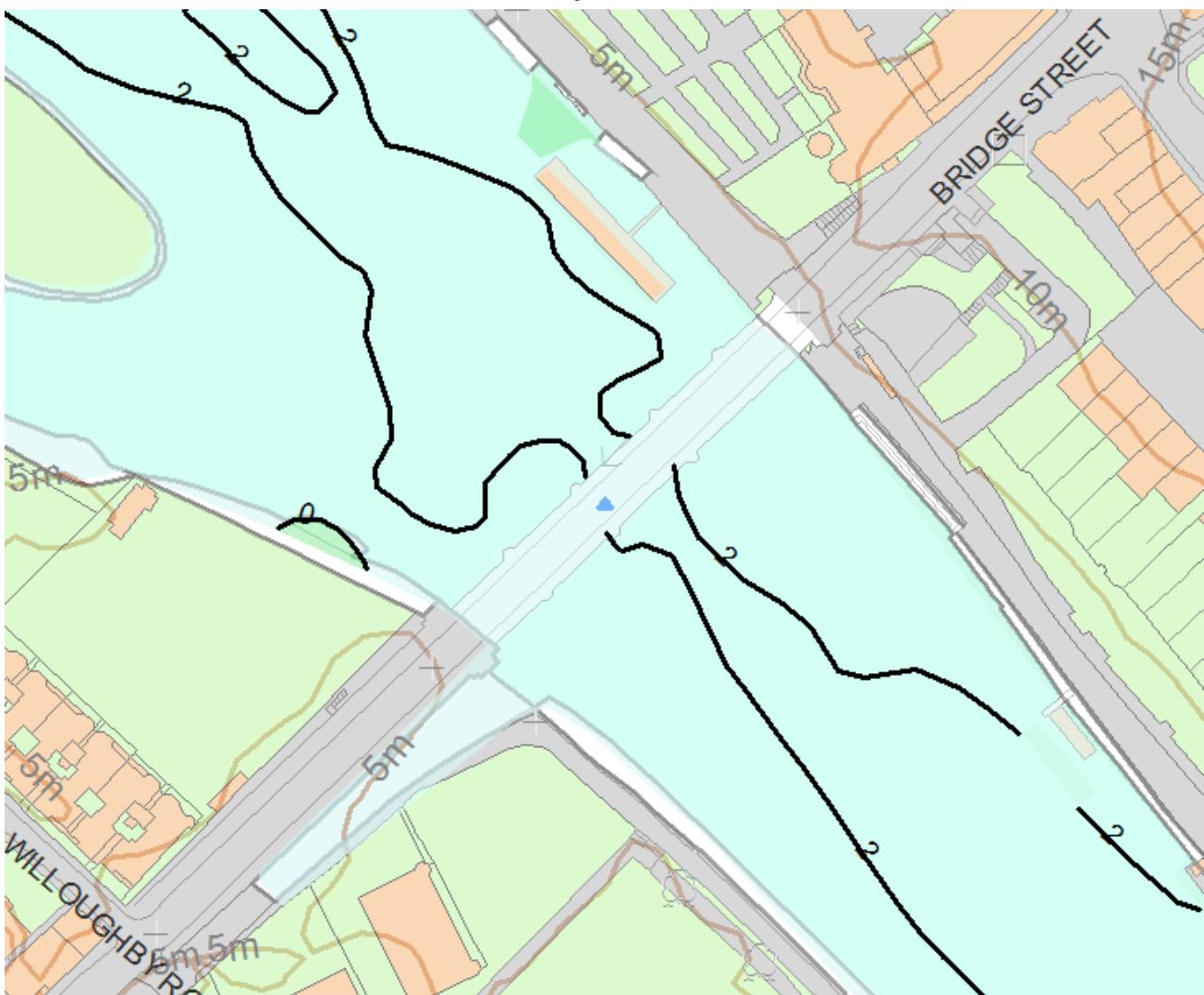
The contents of this record have been generated from a legacy data system.

Legacy System number: **205650**

Legacy System: **LBS**

## Legal

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## **Appendix 6**

# 10, 11 and 12, Bridge Street

## Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1358055**

Date first listed: **24-Dec-1968**

Date of most recent amendment: **24-Jun-1983**

List Entry Name: **10, 11 and 12, Bridge Street**

Statutory Address 1: **10, 11 and 12, Bridge Street, TW9 1TQ**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

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## Location

Statutory Address: **10, 11 and 12, Bridge Street, TW9 1TQ**

The building or site itself may lie within the boundary of more than one authority.

County: **Greater London Authority**

District: **Richmond upon Thames (London Borough)**

Parish: **Non Civil Parish**

National Grid Reference: **TQ 17771 74588**

## Details

This list entry was subject to a Minor Amendment on 7 March 2022 to update the name and address and to reformat the text to current standards

TQ 1774 NE 20A/64

BRIDGE STREET (north side) Nos 10, 11 and 12

(Formerly listed as Tower House)

24.12.68

GV II

Mid C19 by H Laxton. Stucco with slate roof. Three storeys with attic and basement. Modillion cornice below top storey Bridge Street frontage: single storey loggia and five-storey Italianate tower with pyramidal roof. River frontage: basement exposed full height, canted bay and three-storeyed wing.

Listing NGR: **TQ1777174588**

## Legacy

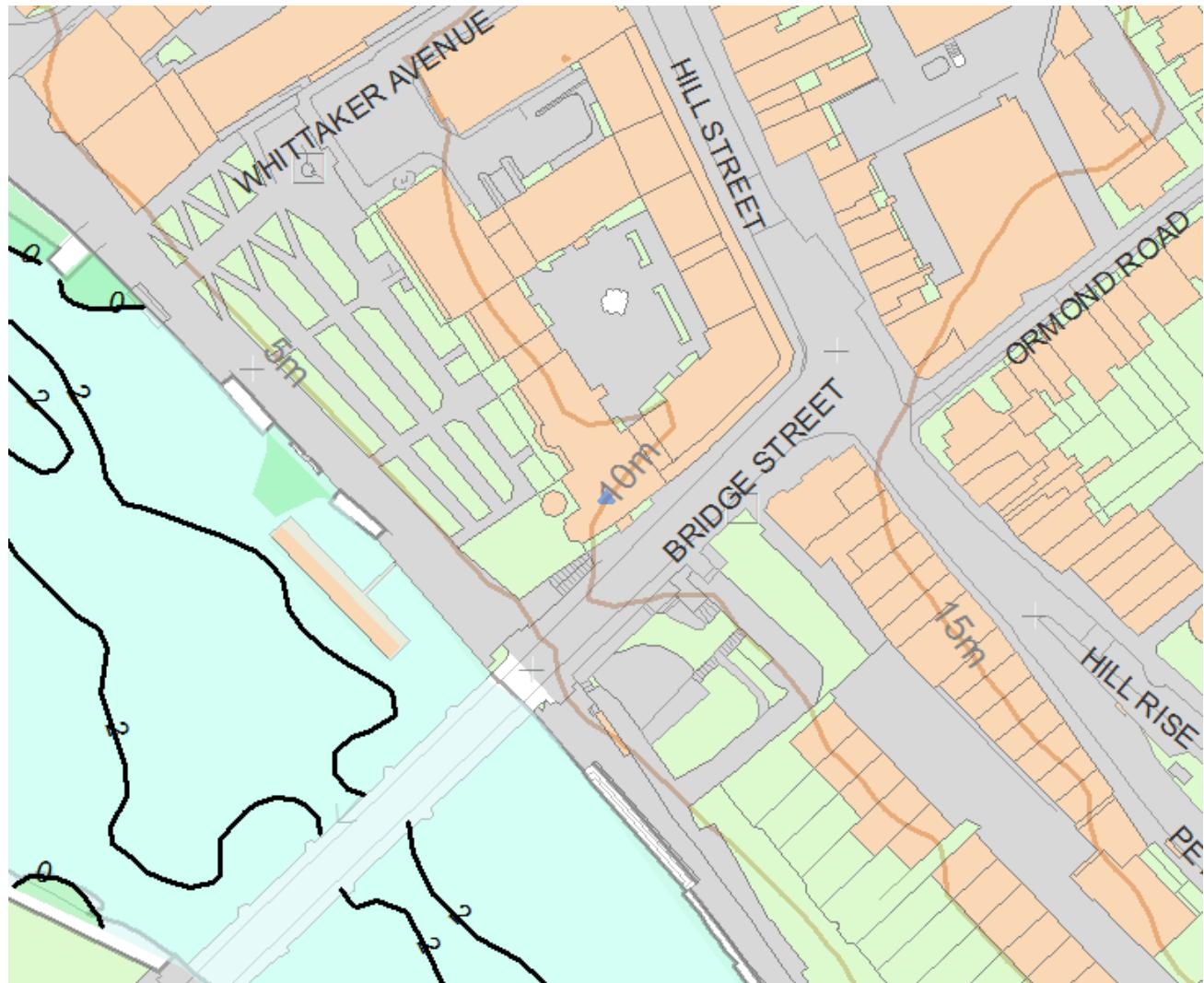
The contents of this record have been generated from a legacy data system.

Legacy System number: **205229**

Legacy System: LBS

## Legal

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## **Appendix 7**

# PALM COURT HOTEL

## Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1357681**

Date first listed: **10-Jan-1950**

List Entry Name: **PALM COURT HOTEL**

Statutory Address 1: **PALM COURT HOTEL, HERON COURT**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

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## Location

Statutory Address: **PALM COURT HOTEL, HERON COURT**

The building or site itself may lie within the boundary of more than one authority.

County: **Greater London Authority**

District: **Richmond upon Thames (London Borough)**

Parish: **Non Civil Parish**

National Grid Reference: **TQ 17755 74616**

## Details

1. 5028 HERON COURT

Palm Court Hotel TQ 1774 NE 20A/63 10.1.50

II

2. An ensemble comprising Heron House and extensions to the south connecting with Tower House in Bridge Street (q.v.). Heron House: early C18. Two storeys and dormers. Five windows wide. Red brick. Stone modillion bands and quoins. Later projecting balustraded porch with Doric columns. Low panelled wall in front of house with rusticated piers. Roof now slate. Basement to Riverside frontage. Range of 2 and 3-storey C19 extensions largely by Laxton although that immediately adjoining Heron House is early C20.

Listing NGR: **TQ1775574616**

## Legacy

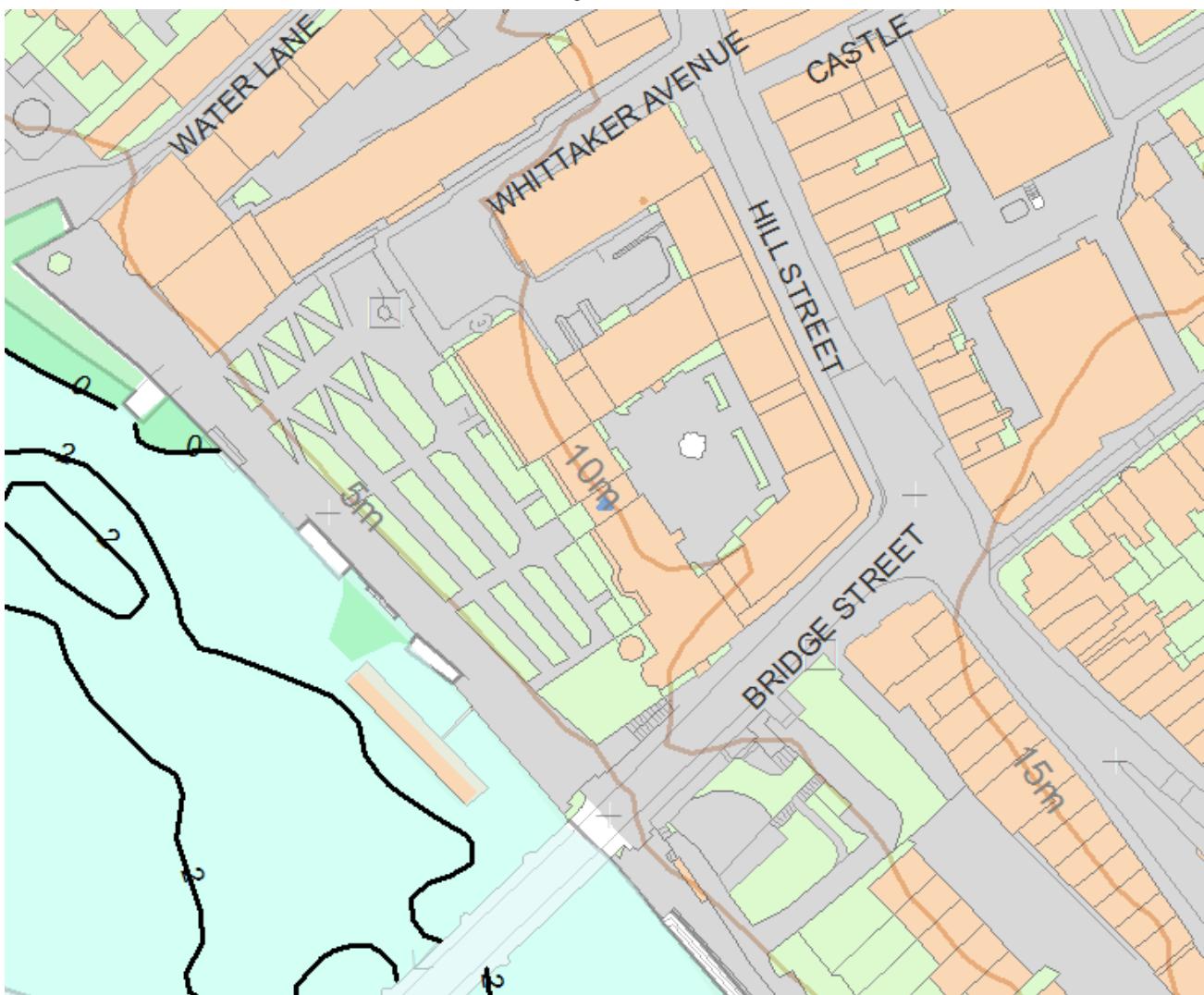
The contents of this record have been generated from a legacy data system.

Legacy System number: **205425**

Legacy System: **LBS**

## Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



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## **Appendix 8**

# WAREHOUSE ON CORNER OF WATER LANE AND RIVERSIDE

## Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1253166**

Date first listed: **24-May-1983**

List Entry Name: **WAREHOUSE ON CORNER OF WATER LANE AND RIVERSIDE**

Statutory Address 1: **WAREHOUSE ON CORNER OF WATER LANE AND RIVERSIDE, WATER LANE**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

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## Location

Statutory Address: **WAREHOUSE ON CORNER OF WATER LANE AND RIVERSIDE, WATER LANE**

The building or site itself may lie within the boundary of more than one authority.

**County: Greater London Authority**

**District: Richmond upon Thames (London Borough)**

**Parish: Non Civil Parish**

National Grid Reference: **TQ 17667 74674**

## Details

1. 5028 WATER LANE

Warehouse on corner of Water Lane and Riverside TQ 1774 20A/100

II

2. C18 building, 3-storeys high in stock brick with pantile roof. Five windows wide on Water Lane frontage and 3 windows wide on river frontage where there is also a central entrance door. Windows and door segmental headed. Sash windows retaining glazing bars.

Listing NGR: TQ1766374673

## Legacy

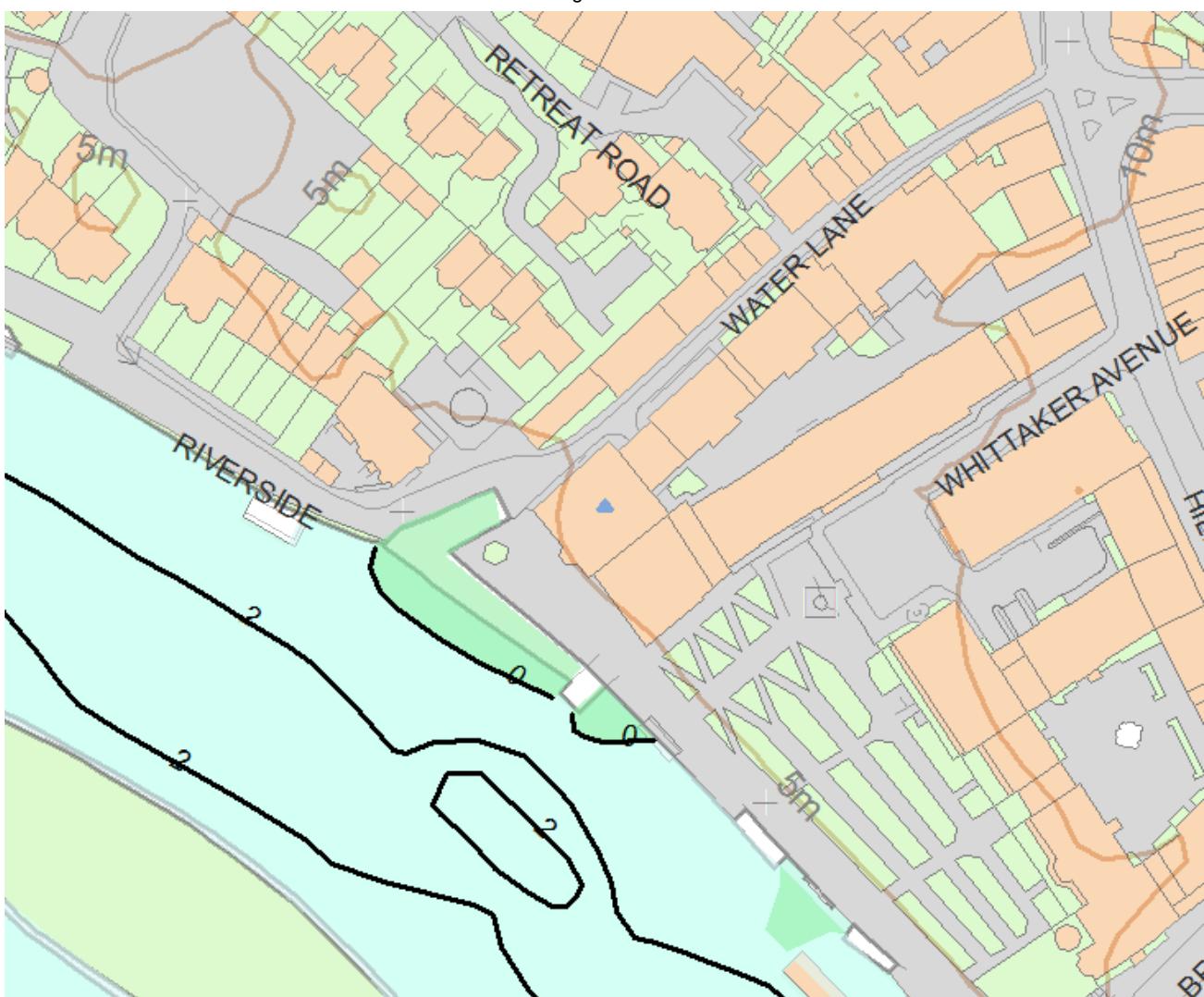
The contents of this record have been generated from a legacy data system.

Legacy System number: **436169**

Legacy System: **LBS**

## Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



## Map

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## **Appendix 9**

# Richmond upon Thames Borough War Memorial

## Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1447856**

Date first listed: **20-Jul-2017**

List Entry Name: **Richmond upon Thames Borough War Memorial**

Statutory Address 1: **Whittaker Avenue, Richmond Upon Thames, London, TW9 1EH**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

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[Corrections and minor amendments](https://historicengland.org.uk/listing/the-list/minor-amendments/) (<https://historicengland.org.uk/listing/the-list/minor-amendments/>)

## Location

Statutory Address: **Whittaker Avenue, Richmond Upon Thames, London, TW9 1EH**

The building or site itself may lie within the boundary of more than one authority.

**County: Greater London Authority**

**District: Richmond upon Thames (London Borough)**

**Parish: Non Civil Parish**

National Grid Reference: **TQ1771174656**

## Summary

A First World War memorial, with later additions for the Second World War.

## Reasons for Designation

Richmond upon Thames Borough War Memorial, which stands at the end of Whittaker Avenue, is listed at Grade II for the following principal reasons:

Historic interest:

\* As an eloquent witness to the tragic impact of world events on this local community, and the sacrifice it has made in the conflicts of the C20.

Architectural interest:

\* An imposing and well-proportioned memorial incorporating statues of a sailor and soldier in uniform.

Group value: with Richmond Bridge (Grade I) and other nearby buildings listed at Grade II.

## History

The aftermath of the First World War saw the biggest single wave of public commemoration ever with tens of thousands of memorials erected across England. This was the result of both the huge impact on communities of the loss of three quarters of a million British lives, and also the official policy of not repatriating the dead which meant that the memorials provided the main focus of the grief felt at this great loss.

One such memorial was raised at Richmond upon Thames as a permanent testament to the sacrifice made by the members of the Borough who lost their lives in the First World War. Designed by Messrs Goodale and CO of Richmond, it was unveiled by Field Marshal Sir William Robertson on 23 November 1921 at a ceremony attended by the Mayor and Corporation. Following the Second World War, a dedication was added to commemorate the fallen of that conflict. The figure of a sailor to the north-west side of the memorial has been restored, having been vandalised in 2003.

## Details

Richmond upon Thames Borough War Memorial stands on the Embankment at the south-west end of Whittaker Avenue, overlooking the River Thames. A number of buildings on the Embankment to either side are listed, as is Richmond Bridge (Grade I). The tall stone monument takes the form of a column raised on a plinth, flanked by walls on which commemorated names are recorded.

The tapering column, octagonal in plan, supports an orb rising from a moulded collar. The column stands on a tall plinth of three stages. The uppermost stage, with round headed pediments to each side, is carved with Richmond Borough's coat of arms to the north-east and south-west, with the figure of a sailor to the north-west and a soldier to the south-east. Below the Borough arms is inscribed PRO PATRIA/ 1914 – 1918.

This stage stands on two steps, rectangular on plan. A group of commemorated names is recorded on the north-east face of the upper step. Below, the lower stage bears the principal dedicatory inscription to the south-west face, reading IN REMEMBRANCE/ OF THE MEN OF THIS BOROUGH/ WHO GAVE THEIR LIVES IN THE SERVICE OF THEIR/ KING AND COUNTRY DURING THE GREAT WARS/ 1914 – 1918 & 1939 – 1945. Two semi-circular steps project from the south-west face of the base, for the placement of wreaths and floral tributes. An additional inscription on the north-east face of the base reads 1914 - 1918/ 1939 – 1945 and records that the Borough's book of Remembrance is on public display in the former Town Hall (unlisted) nearby.

Flanking walls in brick with stone coping, terminating in low stone piers, extend from the lower stage of the plinth. Stone facings to the south-west face of the walls recorded further names.

## Sources

### Books and journals

Lang, P.H., Richmond Upon Thames Through Time, (2015)

### Websites

Roll of Honour, Surrey, accessed 30 May 2017 from <http://www.roll-of-honour.com/Surrey/Richmond.html>

(<http://www.roll-of-honour.com/Surrey/Richmond.html>)

War Memorials Online, accessed 30 May 2017 from <https://www.warmemorialsonline.org.uk/memorial/111220>  
(<https://www.warmemorialsonline.org.uk/memorial/111220>)

War Memorials Register, accessed 30 May 2017 from <http://www.iwm.org.uk/memorials/item/memorial/12517>  
(<http://www.iwm.org.uk/memorials/item/memorial/12517>)

#### Other

"News in Brief." Times [London, England] 24 November 1921: 7. The Times Digital Archive. Web. 30 May 2017.

## Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



## Map

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## **Appendix 10**

# WHITE CROSS HOTEL

## Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1250279**

Date first listed: **24-May-1983**

List Entry Name: **WHITE CROSS HOTEL**

Statutory Address 1: **WHITE CROSS HOTEL, RIVERSIDE**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

[Understanding list entries](https://historicengland.org.uk/listing/the-list/understanding-list-entries/) (<https://historicengland.org.uk/listing/the-list/understanding-list-entries/>)

[Corrections and minor amendments](https://historicengland.org.uk/listing/the-list/minor-amendments/) (<https://historicengland.org.uk/listing/the-list/minor-amendments/>)

## Location

Statutory Address: **WHITE CROSS HOTEL, RIVERSIDE**

The building or site itself may lie within the boundary of more than one authority.

County: **Greater London Authority**

District: **Richmond upon Thames (London Borough)**

Parish: **Non Civil Parish**

National Grid Reference: **TQ 17623 74689**

## Details

1. 5028 RIVERSIDE

White Cross Hotel TQ 1774 NE 20A/58

II GV

Public house, early-mid C19, with extension of late-C19 to the north-west.

**EXTERIOR:** The early section of the brick building, dating from the 1820s or 1830s, has two main river frontages to the south-east and to the south-west, each of three storeys and three bays. The former has canted single storey bay windows on either side of central porch; the latter has one single storey bay window to right of the doorway with a stucco surround. The raised ground floor is stuccoed and there is a broad moulded string course, painted white, in between the second and third storeys. To the north-west is a stuccoed late C19 extension of two storeys and two bays, with an iron canopied balcony to the upper storey, and to the north-east is a lean-to single storey extension of the same date. There are two entrances to the building in the middle bay of each elevation and these signify the building as having origins as a public house, rather than a domestic building: that to the south-west is a grand Doric portico reached by a flight of stone steps which retain their C19 railings; that to the south-east is flanked by a pair of pilasters and also reached by steps running alongside the building. The hipped roof is partially concealed by the raised parapet which is painted white on the south-east elevation and bears C20 lettering.

**INTERIOR:** The pub retains a coherent C19 interior with many original features including a stone surround to an unusually-placed fireplace underneath a window, a mantelshelf, the central bar including over-bar with sliding sashes (a rare feature) and back bar, cornices, a deep-moulded picture rail, architraves and an early C19 staircase with simple moulded newel posts and stick balusters. The original division of the space is readable in the ceiling beams which indicate the smaller rooms the ground floor once comprised, which would have offered public

saloons, private rooms for customers and space for off-sales of alcohol. The rooms on the first floor retain some early C19 panelling, doors, architraves, cornices and a single fireplace with original grate and wooden surround in a fluted design with classical paterae.

**HISTORY:** The White Cross Hotel, like the terrace alongside it, dates from the 1820s or 1830s. The two entrances, its corner position and its location on a travelling route near the bridge, suggest it was built as a public house; it is marked 'PH' on the first edition of the Ordnance Survey map for Middlesex in 1881. Between 1881 and 1896 the building was extended to the north-west although its footprint, and much of the interior, has changed little since.

**SUMMARY OF IMPORTANCE:** This public house dating from the 1820s or 1830s survives well: the principal elevations are largely unchanged, although some of the windows have been replaced, and include some good features including a Doric portico reached by stone steps. The pub is an important component of this historic stretch of riverside and has group value with the listed terrace alongside it (Grade II) and Richmond Bridge of 1777 (Grade I). The interior is also strong and there is a good degree of survival relating to the building's use as a public house from the early-mid C19, including relatively rare sliding sashes; the interior survival overall is of note as many pubs were rebuilt or converted in the great boom of pub building in the later C19 or have been refurbished in the century thereafter.

## Legacy

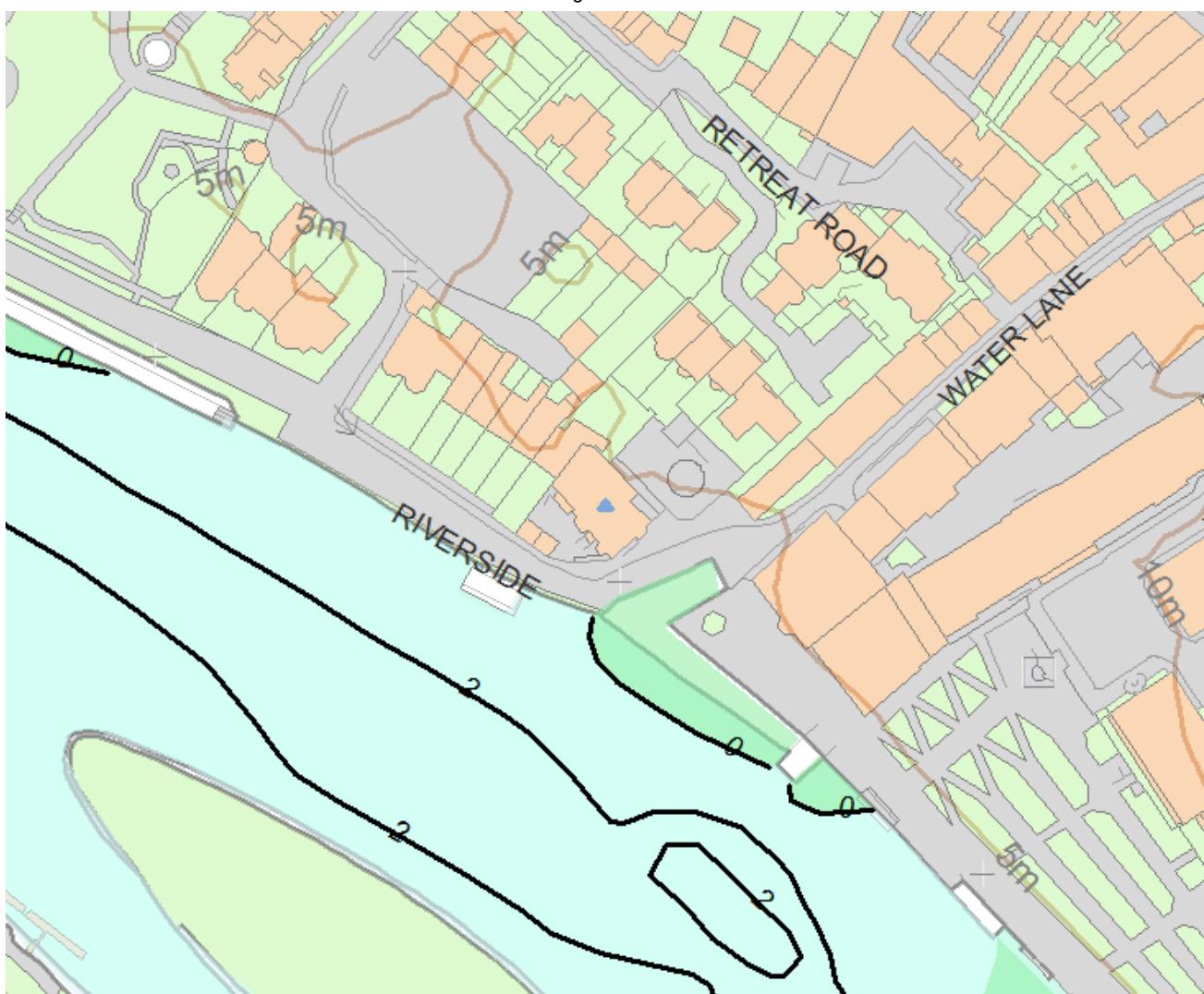
The contents of this record have been generated from a legacy data system.

Legacy System number: **432568**

Legacy System: **LBS**

## Legal

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## **Appendix 11**

**KEY**

- Conservation area boundary

**OTHER DESIGNATIONS**

- Listed building
- Building of Townscape Merit

**ANALYSIS**

- Key tree group
- Local view/vista
- Eyesore building
- ▲ Eyesore site
- Important gateway into the town
- Gateway into The Green
- Spaces which would benefit from improvement
- Underused site
- ★ Local landmark
- Link between town/Green & riverfront
- Dead frontage
  - Cinema annexe
  - Castle Yard House
  - Glovers Lodge
  - Victoria Place
  - Eton Street (west side)

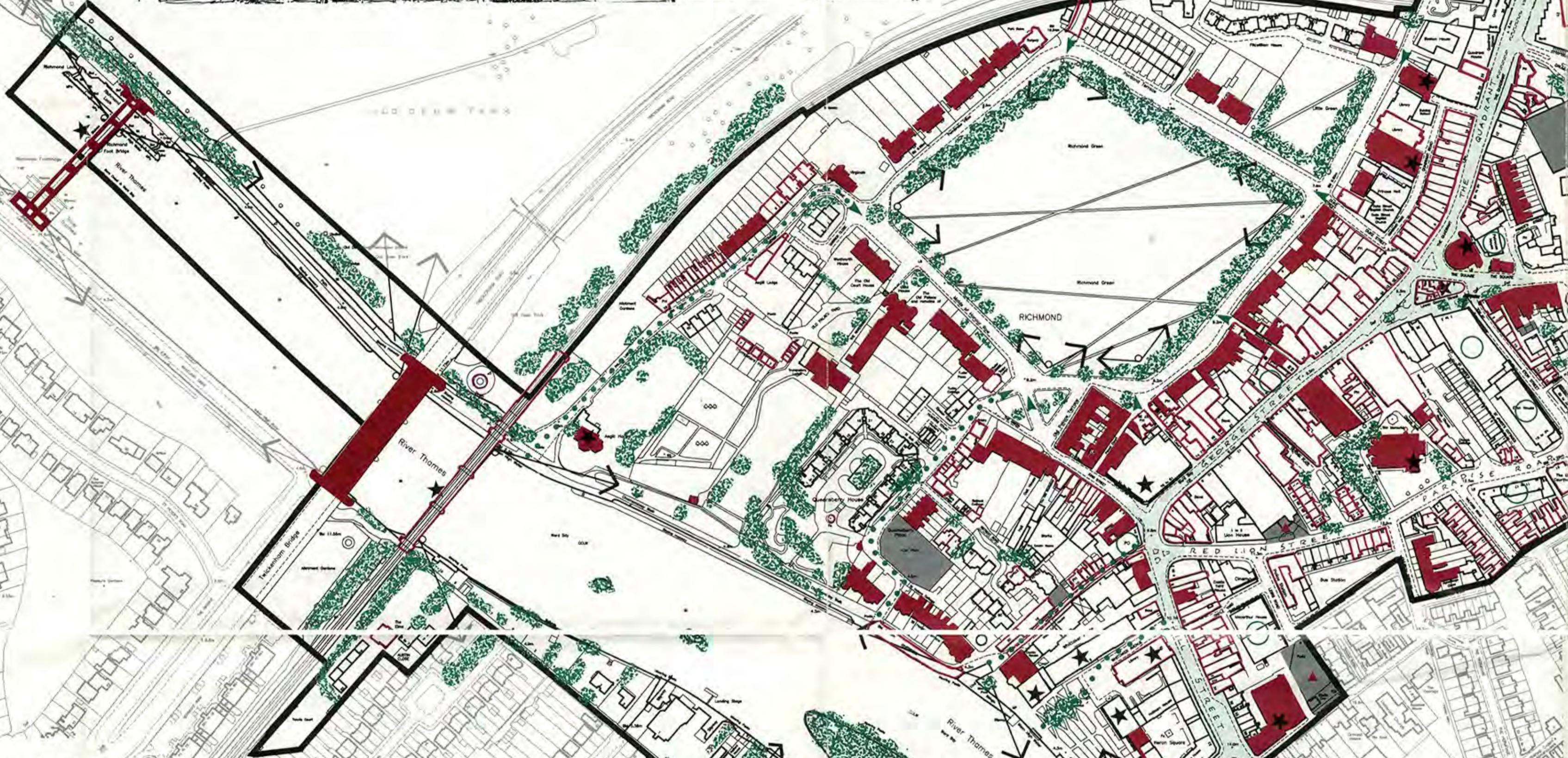
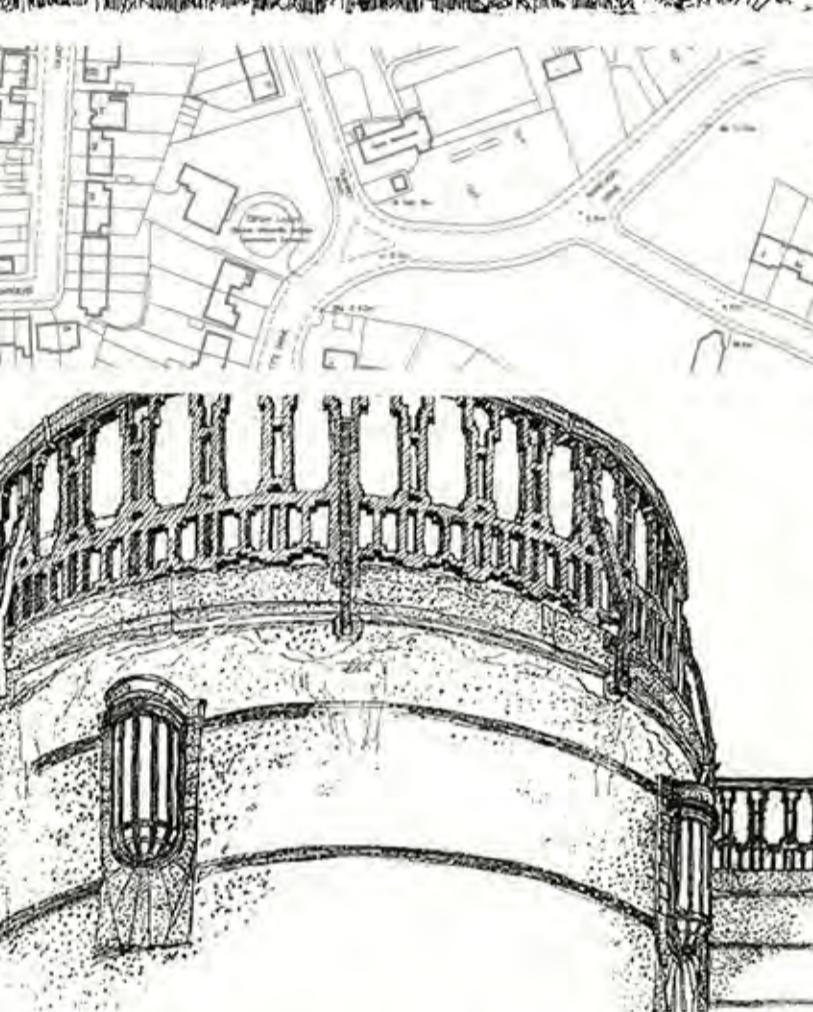
scale 1:2500

Area nos.  
3,4  
17



## Conservation Area Analysis

This map outlines the key problems & pressures and provides an urban design analysis of the conservation areas



**KEY**

- Conservation area
- Thames policy area
- Metropolitan open land
- Public open space
- Other open land of townscape importance
- Other site of nature importance
- Area of mixed use
- ||||| Key shopping frontage
- ||||| Secondary shopping frontage
- \*\*\*\* Route (footpath/cycle route/bridleway)
- Proposal site
- ★ Proposed area for environmental improvement
- Area at risk from flooding



## **Appendix 12**

[Home](#)

# National Planning Policy Framework

From: **Department for Levelling Up, Housing and Communities**

(/government/organisations/department-for-levelling-up-housing-and-communities)

Published 27 March 2012

Updated: 27 March 2012 - [See all updates](#)

[Contents](#)

## Annex 2: Glossary

Glossary of terms used in this manual.

### Affordable housing

Housing for sale or rent, for those whose needs are not met by the market (including housing that provides a subsidised route to home ownership and/or is for essential local workers); and which complies with one or more of the following definitions: [81](#)

**(a) Affordable housing for rent:** meets all of the following conditions: (a) the rent is set in accordance with the Government's rent policy for Social Rent or Affordable Rent, or is at least 20% below local market rents (including service charges where applicable); (b) the landlord is a registered

provider, except where it is included as part of a Build to Rent scheme (in which case the landlord need not be a registered provider); and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision. For Build to Rent schemes affordable housing for rent is expected to be the normal form of affordable housing provision (and, in this context, is known as Affordable Private Rent).

**(b) Starter homes:** is as specified in [sections 2 and 3 of the Housing and Planning Act 2016](#)

(<http://www.legislation.gov.uk/ukpga/2016/22/section/2>)

and any secondary legislation made under these sections. The definition of a starter home should reflect the meaning set out in statute and any such secondary legislation at the time of plan-preparation or decision-making. Where secondary legislation has the effect of limiting a household's eligibility to purchase a starter home to those with a particular maximum level of household income, those restrictions should be used.

**(c) Discounted market sales housing:** is that sold at a discount of at least 20% below local market value. Eligibility is determined with regard to local incomes and local house prices. Provisions should be in place to ensure housing remains at a discount for future eligible households.

**(d) Other affordable routes to home ownership:** is housing provided for sale that provides a route to ownership for those who could not achieve home ownership through the market. It includes shared ownership, relevant equity loans, other low cost homes for sale (at a price equivalent to at least 20% below local market value) and rent to buy (which includes a period of intermediate rent).

Where public grant funding is provided, there should be provisions for the homes to remain at an affordable price for future eligible households, or for any receipts to be recycled for alternative affordable housing provision, or refunded to government or the relevant authority specified in the funding agreement.

## Air quality management areas

Areas designated by local authorities because they are not likely to achieve national air quality objectives by the relevant deadlines.

## Ancient or veteran tree

A tree which, because of its age, size and condition, is of exceptional biodiversity, cultural or heritage value. All ancient trees are veteran trees. Not all veteran trees are old enough to be ancient, but are old relative to other trees of the same species. Very few trees of any species reach the ancient life-stage.

## Ancient woodland

An area that has been wooded continuously since at least 1600 AD. It includes ancient semi-natural woodland and plantations on ancient woodland sites (PAWS).

## Annual position statement

A document setting out the 5 year housing land supply position on 1st April each year, prepared by the local planning authority in consultation with developers and others who have an impact on delivery.

## Archaeological interest

There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

**Article 4 direction: A direction made under Article 4 of the Town and Country Planning (<https://www.legislation.gov.uk/uksi/2015/596/article/4/made>) which withdraws permitted development rights granted by that Order.**

## Best and most versatile agricultural land

## Land in grades 1, 2 and 3a of the Agricultural Land Classification.

<sup>Page 88</sup>

### Brownfield land

See [Previously developed land](#).

### Brownfield land registers

Registers of previously developed land that local planning authorities consider to be appropriate for residential development, having regard to criteria in the [Town and Country Planning \(Brownfield Land Registers\) Regulations 2017](#) (<http://www.legislation.gov.uk/uksi/2017/403/contents/made>). Local planning authorities will be able to trigger a grant of permission in principle for residential development on suitable sites in their registers where they follow the required procedures.

### Build to Rent

Purpose built housing that is typically 100% rented out. It can form part of a wider multi-tenure development comprising either flats or houses, but should be on the same site and/or contiguous with the main development. Schemes will usually offer longer tenancy agreements of three years or more, and will typically be professionally managed stock in single ownership and management control.

### Climate change adaptation

Adjustments made to natural or human systems in response to the actual or anticipated impacts of climate change, to mitigate harm or exploit beneficial opportunities.

### Climate change mitigation

Action to reduce the impact of human activity on the climate system, primarily through reducing greenhouse gas emissions.

### Coastal change management area

An area identified in plans as likely to be affected by physical change to the shoreline through erosion, coastal landslip, permanent inundation or coastal accretion.

## Community forest

An area identified through the [England Community Forest Programme](#) (<http://www.communityforest.org.uk/>) to revitalise countryside and green space in and around major conurbations.

## Community Right to Build Order

An Order made by the local planning authority (under the [Town and Country Planning Act 1990](#) (<https://www.legislation.gov.uk/ukpga/1990/8/contents>)) that grants planning permission for a site-specific development proposal or classes of development.

## Community-led developments

A development instigated and taken forward by a not-for-profit organisation set up and run primarily for the purpose of meeting the housing needs of its members and the wider local community, rather than being a primarily commercial enterprise. The organisation is created, managed and democratically controlled by its members. It may take any one of various legal forms including a community land trust, housing co-operative and community benefit society. Membership of the organisation is open to all beneficiaries and prospective beneficiaries of that organisation. The organisation should own, manage or steward the homes in a manner consistent with its purpose, for example through a mutually supported arrangement with a Registered Provider of Social Housing. The benefits of the development to the specified community should be clearly defined and consideration given to how these benefits can be protected over time, including in the event of the organisation being wound up.

## **Competent person (to prepare site investigation information)**

A person with a recognised relevant qualification, sufficient experience in dealing with the type(s) of pollution or land instability, and membership of a relevant professional organisation.

## **Conservation (for heritage policy)**

The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.

## **Decentralised energy**

Local renewable and local low-carbon energy sources.

## **Deliverable**

To be considered deliverable, sites for housing should be available now, offer a suitable location for development now, and be achievable with a realistic prospect that housing will be delivered on the site within 5 years. In particular:

- a) sites which do not involve major development and have planning permission, and all sites with detailed planning permission should be considered deliverable until permission expires, unless there is clear evidence that homes will not be delivered within 5 years (for example because they are no longer viable, there is no longer a demand for the type of units or sites have long term phasing plans).
- b) where a site has outline planning permission for major development, has been allocated in a development plan, has a grant of permission in principle, or is identified on a brownfield register, it should only be considered deliverable where there is clear evidence that housing completions will begin on site within 5 years.

## **Design code**

A set of illustrated design requirements<sup>Page 91</sup> that provide specific, detailed parameters for the physical development of a site or area. The graphic and written components of the code should build upon a design vision, such as a masterplan or other design and development framework for a site or area.

## Design guide

A document providing guidance on how development can be carried out in accordance with good design practice, often produced by a local authority.

## Designated heritage asset

A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated under the relevant legislation.

## Designated rural areas

National Parks, Areas of Outstanding Natural Beauty and areas designated as 'rural' under [section 157 of the Housing Act 1985](#) (<https://www.legislation.gov.uk/ukpga/1985/68/section/157>).

## Developable

To be considered developable, sites should be in a suitable location for housing development with a reasonable prospect that they will be available and could be viably developed at the point envisaged.

## Development plan

Is defined in [section 38 of the Planning and Compulsory Purchase Act 2004](#) (<https://www.legislation.gov.uk/ukpga/2004/5/section/38>), and includes adopted local plans, neighbourhood plans that have been made and published spatial development strategies, together with any regional strategy policies that remain in force.

Neighbourhood plans that have been approved at referendum are also part of the development plan, unless the local planning authority decides that the neighbourhood plan should not be made.

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## **Edge of centre**

For retail purposes, a location that is well connected to, and up to 300 metres from, the primary shopping area. For all other main town centre uses, a location within 300 metres of a town centre boundary. For office development, this includes locations outside the town centre but within 500 metres of a public transport interchange. In determining whether a site falls within the definition of edge of centre, account should be taken of local circumstances.

## **Environmental impact assessment**

A procedure to be followed for certain types of project to ensure that decisions are made in full knowledge of any likely significant effects on the environment.

## **Essential local workers**

Public sector employees who provide frontline services in areas including health, education and community safety – such as NHS staff, teachers, police, firefighters and military personnel, social care and childcare workers.

## **General aviation airfields**

Licenced or unlicenced aerodromes with hard or grass runways, often with extensive areas of open land related to aviation activity.

## **Geodiversity**

The range of rocks, minerals, fossils, soils and landforms.

## **Green infrastructure**

A network of multi-functional green and blue spaces and other natural features, urban and rural, which is capable of delivering a wide range of environmental, economic, health and wellbeing benefits for nature, climate, local and wider communities and prosperity.

## **Habitats site**

Any site which would be included within the definition at [regulation 8 of the Conservation of Habitats and Species Regulations 2017](#) (<http://www.legislation.gov.uk/uksi/2017/1012/regulation/8/made>) for the purpose of those regulations, including candidate Special Areas of Conservation, Sites of Community Importance, Special Areas of Conservation, Special Protection Areas and any relevant Marine Sites.

## **Heritage asset**

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).

## **Heritage coast**

Areas of undeveloped coastline which are managed to conserve their natural beauty and, where appropriate, to improve accessibility for visitors.

## **Historic environment**

All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.

## **Historic environment record**

Information services that seek to provide access to comprehensive and dynamic resources relating to the historic environment of a defined geographic area for public benefit and use.

## **Housing Delivery Test**

Measures net homes delivered in a local authority area against the homes required, using national statistics and local authority data. The Secretary of State will publish the Housing Delivery Test results for each local authority in England annually.

## **International, national and locally designated sites of importance for biodiversity**

All international sites (Special Areas of Conservation, Special Protection Areas, and Ramsar sites), national sites (Sites of Special Scientific Interest) and locally designated sites including Local Wildlife Sites.

## **Irreplaceable habitat**

Habitats which would be technically very difficult (or take a very significant time) to restore, recreate or replace once destroyed, taking into account their age, uniqueness, species diversity or rarity. They include ancient woodland, ancient and veteran trees, blanket bog, limestone pavement, sand dunes, salt marsh and lowland fen.

## **Local Development Order**

An Order made by a local planning authority (under the [Town and Country Planning Act 1990](#) (<https://www.legislation.gov.uk/ukpga/1990/8/contents>)) that grants planning permission for a specific development proposal or classes of development.

## **Local Enterprise Partnership**

A body, designated by the Secretary of State for Housing, Communities and Local Government, established for the purpose of creating or improving the conditions for economic growth in an area.

## Local housing need

The number of homes identified as being needed through the application of the standard method set out in national planning guidance (or, in the context of preparing strategic policies only, this may be calculated using a justified alternative approach as provided for in [paragraph 61](#) (<https://www.gov.uk/guidance/national-planning-policy-framework/5-delivering-a-sufficient-supply-of-homes>) of this Framework).

## Local Nature Partnership

A body, designated by the Secretary of State for Environment, Food and Rural Affairs, established for the purpose of protecting and improving the natural environment in an area and the benefits derived from it.

## Local planning authority

The public authority whose duty it is to carry out specific planning functions for a particular area. All references to local planning authority include the district council, London borough council, county council, Broads Authority, National Park Authority, the Mayor of London and a development corporation, to the extent appropriate to their responsibilities.

## Local plan

A plan for the future development of a local area, drawn up by the local planning authority in consultation with the community. In law this is described as the development plan documents adopted under the [Planning and Compulsory Purchase Act 2004](#) (<https://www.legislation.gov.uk/ukpga/2004/5/contents>). A local plan can consist of either strategic or non-strategic policies, or a combination of the two.

## Main town centre uses

Retail development (including warehouse clubs and factory outlet centres); leisure, entertainment and more intensive sport and recreation uses (including cinemas, restaurants, drive-through restaurants, bars and pubs, nightclubs, casinos, health and fitness centres, indoor bowling centres and bingo halls); offices; and arts, culture and tourism development (including theatres, museums, galleries and concert halls, hotels and conference facilities).

## **Major development [82](#)**

For housing, development where 10 or more homes will be provided, or the site has an area of 0.5 hectares or more. For non-residential development it means additional floorspace of 1,000m<sup>2</sup> or more, or a site of 1 hectare or more, or as otherwise provided in the [Town and Country Planning \(Development Management Procedure\) \(England\) Order 2015](#) (<http://www.legislation.gov.uk/uksi/2015/595/contents/made>).

## **Major hazard sites, installations and pipelines**

Sites and infrastructure, including licensed explosive sites and nuclear installations, around which Health and Safety Executive (and Office for Nuclear Regulation) consultation distances to mitigate the consequences to public safety of major accidents may apply.

## **Mansard roof**

A type of roof that is characterised by two slopes, the lower steep and the upper shallow. It is generally regarded as a suitable type of roof extension for buildings which are part of a terrace of at least three buildings and at least two stories tall, with a parapet running the entire length of the front façade (reference: Create Streets, 2021, Living Tradition).

## **Minerals resources of local and national importance**

Minerals which are necessary to meet society's needs, including aggregates, brickclay (especially Etruria Marl and fireclay), silica sand (including high grade silica sands), coal derived fly ash in single use deposits, cement raw materials, gypsum, salt, fluorspar, shallow and deep-mined coal, oil and gas (including conventional and unconventional hydrocarbons), tungsten, kaolin, ball clay, potash, polyhalite and local minerals of importance to heritage assets and local distinctiveness.

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## **Mineral Consultation Area**

A geographical area based on a Mineral Safeguarding Area, where the district or borough council should consult the Mineral Planning Authority for any proposals for non-minerals development.

## **Mineral Safeguarding Area**

An area designated by minerals planning authorities which covers known deposits of minerals which are desired to be kept safeguarded from unnecessary sterilisation by non-mineral development.

## **National trails**

Long distance routes for walking, cycling and horse riding.

## **Natural Flood Management**

Managing flood and coastal erosion risk by protecting, restoring and emulating the natural 'regulating' function of catchments, rivers, floodplains and coasts.

## **Nature Recovery Network**

An expanding, increasingly connected, network of wildlife-rich habitats supporting species recovery, alongside wider benefits such as carbon capture, water quality improvements, natural flood risk management and recreation. It includes the existing

network of protected sites and other wildlife rich habitats as well as and landscape or catchment scale recovery areas where there is coordinated action for species and habitats.

## Neighbourhood Development Order

An Order made by a local planning authority (under the [Town and Country Planning Act 1990](#) (<https://www.legislation.gov.uk/ukpga/1990/8/contents>)) through which parish councils and neighbourhood forums can grant planning permission for a specific development proposal or classes of development.

## Neighbourhood plan

A plan prepared by a parish council or neighbourhood forum for a designated neighbourhood area. In law this is described as a neighbourhood development plan in the [Planning and Compulsory Purchase Act 2004](#) (<https://www.legislation.gov.uk/ukpga/2004/5/contents>).

## Non-strategic policies

Policies contained in a neighbourhood plan, or those policies in a local plan that are not strategic policies.

## Older people

People over or approaching retirement age, including the active, newly-retired through to the very frail elderly; and whose housing needs can encompass accessible, adaptable general needs housing through to the full range of retirement and specialised housing for those with support or care needs.

## Open space

All open space of public value, including not just land, but also areas of water (such as rivers, canals, lakes and reservoirs) which offer important opportunities for sport and recreation and can act as a visual amenity.

## **Original building**

A building as it existed on 1 July 1948 or, if constructed after 1 July 1948, as it was built originally.

## **Out of centre**

A location which is not in or on the edge of a centre but not necessarily outside the urban area.

## **Out of town**

A location out of centre that is outside the existing urban area.

## **Outstanding universal value**

Cultural and/or natural significance which is so exceptional as to transcend national boundaries and to be of common importance for present and future generations. An individual Statement of Outstanding Universal Value is agreed and adopted by the UNESCO World Heritage Committee for each World Heritage Site.

## **People with disabilities**

People have a disability if they have a physical or mental impairment, and that impairment has a substantial and long-term adverse effect on their ability to carry out normal day-to-day activities. These persons include, but are not limited to, people with ambulatory difficulties, blindness, learning difficulties, autism and mental health needs.

## **Permission in principle**

A form of planning consent which establishes that a site is suitable for a specified amount of housing-led development in principle. Following a grant of permission in principle, the site must receive a grant of technical details consent before development can proceed.

## Planning condition

A condition imposed on a grant of planning permission (in accordance with the [Town and Country Planning Act 1990](#) (<https://www.legislation.gov.uk/ukpga/1990/8/contents>)) or a condition included in a Local Development Order or Neighbourhood Development Order.

## Planning obligation

A legal agreement entered into under [section 106 of the Town and Country Planning Act 1990](#) (<https://www.legislation.gov.uk/ukpga/1990/8/section/106>) to mitigate the impacts of a development proposal.

## Playing field

The whole of a site which encompasses at least one playing pitch as defined in the [Town and Country Planning \(Development Management Procedure\) \(England\) Order 2015](#) (<http://www.legislation.gov.uk/uksi/2015/595/contents/made>).

## Previously developed land

Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure. This excludes: land that is or was last occupied by agricultural or forestry buildings; land that has been developed for minerals extraction or waste disposal by landfill, where provision for restoration has been made through development management procedures; land in built-up areas such as residential gardens, parks, recreation grounds and allotments; and land that was previously developed but where the remains of the permanent structure or fixed surface structure have blended into the landscape.

## Primary shopping area

Defined area where retail development is concentrated.

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## Priority habitats and species

Species and Habitats of Principal Importance included in the England Biodiversity List published by the Secretary of State under [section 41 of the Natural Environment and Rural Communities Act 2006](#) (<https://www.legislation.gov.uk/ukpga/2006/16/section/41>)

## Ramsar sites

Wetlands of international importance, designated under the [1971 Ramsar Convention](#) (<https://www.ramsar.org/about-the-ramsar-convention>).

## Recycled aggregates

Aggregates resulting from the processing of inorganic materials previously used in construction, e.g. construction and demolition waste.

## Renewable and low carbon energy

Includes energy for heating and cooling as well as generating electricity. Renewable energy covers those energy flows that occur naturally and repeatedly in the environment – from the wind, the fall of water, the movement of the oceans, from the sun and also from biomass and deep geothermal heat. Low carbon technologies are those that can help reduce emissions (compared to conventional use of fossil fuels).

## Rural exception sites

Small sites used for affordable housing in perpetuity where sites would not normally be used for housing. Rural exception sites seek to address the needs of the local community by accommodating households who are either current residents or have an existing family or employment connection. A proportion of market homes may be allowed on

the site at the local planning authority's discretion,<sup>Page 102</sup> for example where essential to enable the delivery of affordable units without grant funding.

## Safeguarding zone

An area defined in [Circular 01/03: Safeguarding aerodromes, technical sites and military explosives storage areas](#)

(<https://www.gov.uk/government/publications/safeguarding-aerodromes-technical-sites-and-military-explosives-storage-areas>), to which specific safeguarding provisions apply.

## Secondary aggregates

Aggregates from industrial wastes such as glass (cullet), incinerator bottom ash, coal derived fly ash, railway ballast, fine ceramic waste (pitcher), and scrap tyres; and industrial and minerals by-products, notably waste from china clay, coal and slate extraction and spent foundry sand. These can also include hydraulically bound materials.

## Self-build and custom-build housing

Housing built by an individual, a group of individuals, or persons working with or for them, to be occupied by that individual. Such housing can be either market or affordable housing. A legal definition, for the purpose of applying the [Self-build and Custom Housebuilding Act 2015](#) (<http://www.legislation.gov.uk/ukpga/2015/17/contents>) (as amended), is contained in section 1(A1) and (A2) of that Act.

## Setting of a heritage asset

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

## Significance (for heritage policy)

The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site's Statement of Outstanding Universal Value forms part of its significance.

## Special Areas of Conservation

Areas defined by [regulation 3 of the Conservation of Habitats and Species Regulations 2017](http://www.legislation.gov.uk/uksi/2017/1012/regulation/3/made) (<http://www.legislation.gov.uk/uksi/2017/1012/regulation/3/made>) which have been given special protection as important conservation sites.

## Special Protection Areas

Areas classified under [regulation 15 of the Conservation of Habitats and Species Regulations 2017](http://www.legislation.gov.uk/uksi/2017/1012/regulation/15/made) (<http://www.legislation.gov.uk/uksi/2017/1012/regulation/15/made>) which have been identified as being of international importance for the breeding, feeding, wintering or the migration of rare and vulnerable species of birds.

## Site investigation information

Includes a risk assessment of land potentially affected by contamination, or ground stability and slope stability reports, as appropriate. All investigations of land potentially affected by contamination should be carried out in accordance with established procedures (such as BS10175 Investigation of Potentially Contaminated Sites – Code of Practice).

## Site of Special Scientific Interest

Sites designated by Natural England under the [Wildlife and Countryside Act 1981](#)

<https://www.legislation.gov.uk/ukpga/1981/69/contents>.

## **Spatial development strategy**

A plan containing strategic policies prepared by a Mayor or a combined authority. It includes the London Plan (prepared under provisions in the [Greater London Authority Act 1999](https://www.legislation.gov.uk/ukpga/1999/29/contents) (<https://www.legislation.gov.uk/ukpga/1999/29/contents>)) and plans prepared by combined authorities that have been given equivalent plan-making functions by an order made under the [Local Democracy, Economic Development and Construction Act 2009](https://www.legislation.gov.uk/ukpga/2009/20/contents) (<https://www.legislation.gov.uk/ukpga/2009/20/contents>) (as amended).

## **Stepping stones**

Pockets of habitat that, while not necessarily connected, facilitate the movement of species across otherwise inhospitable landscapes.

## **Strategic environmental assessment**

A procedure (set out in the [Environmental Assessment of Plans and Programmes Regulations 2004](https://www.legislation.gov.uk/ksi/2004/1633/contents/made) ([http://www.legislation.gov.uk/ksi/2004/1633/contents/made](https://www.legislation.gov.uk/ksi/2004/1633/contents/made))) which requires the formal environmental assessment of certain plans and programmes which are likely to have significant effects on the environment.

## **Strategic policies**

Policies and site allocations which address strategic priorities in line with the requirements of [section 19\(1B-E\) of the Planning and Compulsory Purchase Act 2004](https://www.legislation.gov.uk/ukpga/2017/20/section/8#section-8-1) (<https://www.legislation.gov.uk/ukpga/2017/20/section/8#section-8-1>).

## **Strategic policy-making authorities**

Those authorities responsible for producing strategic policies (local planning authorities, and

elected Mayors or combined authorities, where this power has been conferred). This definition applies whether the authority is in the process of producing strategic policies or not.

## **Supplementary planning documents**

Documents which add further detail to the policies in the development plan. They can be used to provide further guidance for development on specific sites, or on particular issues, such as design. Supplementary planning documents are capable of being a material consideration in planning decisions but are not part of the development plan.

## **Sustainable transport modes**

Any efficient, safe and accessible means of transport with overall low impact on the environment, including walking and cycling, ultra low and zero emission vehicles, car sharing and public transport.

## **Town centre**

Area defined on the local authority's policies map, including the primary shopping area and areas predominantly occupied by main town centre uses within or adjacent to the primary shopping area. References to town centres or centres apply to city centres, town centres, district centres and local centres but exclude small parades of shops of purely neighbourhood significance. Unless they are identified as centres in the development plan, existing out-of-centre developments, comprising or including main town centre uses, do not constitute town centres.

## **Transport assessment**

A comprehensive and systematic process that sets out transport issues relating to a proposed development. It identifies measures required to improve accessibility and safety for all modes of travel, particularly for alternatives to the car such as

walking, cycling and public transport, and measures that will be needed deal with the anticipated transport impacts of the development.

## Transport statement

A simplified version of a transport assessment where it is agreed the transport issues arising from development proposals are limited and a full transport assessment is not required.

## Travel plan

A long-term management strategy for an organisation or site that seeks to deliver sustainable transport objectives and is regularly reviewed.

## Wildlife corridor

Areas of habitat connecting wildlife populations.

## Windfall sites

Sites not specifically identified in the development plan.

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## Footnotes

(81) This definition should be read in conjunction with relevant policy contained in the Affordable Homes Update Written Ministerial Statement published on 24 May 2021. [←](#)

(82) Other than for the specific purposes of [paragraphs 182](https://www.gov.uk/guidance/national-planning-policy-framework/15-conserving-and-enhancing-the-natural-environment#para182) (<https://www.gov.uk/guidance/national-planning-policy-framework/15-conserving-and-enhancing-the-natural-environment#para182>) and [183](https://www.gov.uk/guidance/national-planning-policy-framework/15-conserving-and-enhancing-the-natural-environment#para183) (<https://www.gov.uk/guidance/national-planning-policy-framework/15-conserving-and-enhancing-the-natural-environment#para183>) in this Framework. [←](#)

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## **Appendix 13**

**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

**TOWN AND COUNTRY PLANNING ACT 1990**

**ENFORCEMENT NOTICE – OPERATIONAL DEVELOPMENT & MATERIAL CHANGE  
OF USE**

**ISSUED BY THE LONDON BOROUGH OF RICHMOND UPON THAMES**

Enforcement reference: 22/0346/EN/EOP

**1. THIS IS A FORMAL NOTICE** issued by the Council because it appears that there has been a breach of planning control under Section 171A(1)(a) of the above Act, at the land described below. The Council considers it expedient to issue this notice, having regard to the provisions of the development plan and to other material considerations.

**2. THE LAND AFFECTED**

Pontoon and land adjacent to Richmond Bridge Pier Riverside Richmond shown edged red on the attached plan ('the Land').

**3. THE BREACH OF PLANNING CONTROL ALLEGED**

- (i) Without planning permission and within the last four years, alterations to the existing pontoon, which have consisted of increasing its height with an additional lower deck and raised seating area, altering the external materials, erecting fixed covers with heaters, external railings, lower deck kitchen facilities and ancillary storage space.
- (ii) Without planning permission and within the last ten years, a material change of use of the pontoon into a restaurant.

**4. REASONS FOR ISSUING THIS NOTICE**

- (a) It appears to the Council that the above breaches of planning control:
  - (i) referred to in paragraph 3(i) has occurred within the last four years; and
  - (ii) referred to in paragraph 3(ii) has occurred within the last ten years.
- (b) The alterations to the pontoon, by virtue of their siting, size, scale, mass and bulk, are harmful to the openness of the Metropolitan Open Land and constitute inappropriate development, for which there are no very special circumstances to justify this harm. The use of the pontoon as a restaurant (Class E) has an urbanising effect, which fails to preserve the openness of the Metropolitan Open Land. As such, these developments do not comply

with the National Planning Policy Framework, London Plan Policy G3, Local Plan Policy LP13 or Draft Local Plan Policy 34.

- (c) The pontoon is far larger than any other examples in the locality and it is also enclosed, which increases its overall height significantly and is now predominantly used as a restaurant. The covered seating has been constructed by using large, fixed umbrellas and the sides have been enclosed with a transparent plastic material, it's a poor quality construction and detracts from the character of the area, which is predominantly smaller, fleeting and open structures, with river uses, as well as river fronting buildings of high architectural quality. In summary, the pontoon appears as an incongruous structure and is unsympathetic to the character of the area. Accordingly, it does not comply with Local Plan Policy LP1, Draft Local Plan Policies 19 and 28 and the National Planning Policy Framework.
- (d) The pontoon, as altered, appears as a dominant and unsympathetic addition to the riverside, due to its size being disproportionate to similar structures within the Conservation Area and the use of large umbrellas and transparent plastic covers to enclose the area, representing a poor quality design, which fails to preserve or enhance the character or appearance of the Conservation Area. The pontoon also affects the setting of the Grade I Listed Richmond Bridge, due to the poor quality design and materials and the increased size and therefore dominance on river frontage, it negatively affects the setting of that Listed Building. The alterations to the pontoon result in a dominant and incongruous structure on the river frontage, which negatively affects the Conservation Area and Grade I Listed Richmond Bridge. The alterations to the pontoon amount to less than substantial harm to the designated heritage assets however there are no public benefits attributable that outweigh this harm. Accordingly, this development does not comply with Local Plan Policy LP3, Draft Local Plan Policy 28 or the National Planning Policy Framework.
- (e) The alterations to the pontoon, by virtue of their siting, size, scale, mass and bulk, are harmful to the character, openness and views of the river. The use of the pontoon as a restaurant is not river-dependent and results in the substantial reduction in the previous river dependent use, which was for the mooring of leisure boats, with the absence of any evidence to demonstrate that use was not feasible or viable. Accordingly, the development does not comply with Local Plan Policies LP18 and LP19 and Draft Local Plan Policies 40 and 41.
- (f) The alterations and material change of use to the pontoon, has resulted in a floating restaurant adjacent to the Richmond Riverside and Richmond Bridge. In the absence of any evidence to demonstrate that these developments will not give rise to unacceptable environmental impacts, including but not limited to, air pollution, noise pollution, light pollution and odours and fumes, the development does not comply with Local Plan Policy LP10 or Draft Local Plan Policy 53.

## 5. WHAT YOU ARE REQUIRED TO DO

1. Carry out all necessary remedial works to restore the pontoon to its condition before the breach of planning control.
2. Permanently cease the unauthorised use of the pontoon.
3. Remove from the Land any waste associated with carrying out steps 1 and 2 above.

Time for Compliance: within 6 (six) months of this notice taking effect.

## 6. WHEN THIS NOTICE TAKES EFFECT

This notice takes effect on 22 November 2023 unless an appeal is made against it beforehand.

Dated: 11 October 2023

*John Scarborough*  
Signed:   
Managing Director, South London Legal Partnership on behalf of the Council of the London Borough of Richmond Upon Thames

Address to which all communication should be sent:

Head of Legal Services, South London Legal Partnership, Gifford House, 67c St Helier Avenue, Morden, Surrey SM4 6HY (Ref: CS/LEG/RO/217/2334)

### YOUR RIGHT OF APPEAL

You can appeal against this notice in writing to the Secretary of State, but any appeal must be received, or posted in time to be received, by the Planning Inspectorate before the notice takes effect. The enclosed Explanatory Note and Information Sheet set out the procedure to be followed if you wish to appeal.

### Fee PAYABLE FOR THE DEEMED APPLICATION

If your ground of appeal is or includes ground (a) that planning permission should be granted, an appeal fee is payable, which is double that payable for a normal planning application. The total fee payable is £924.00.

Please send a cheque for this amount with your appeal, made out to the London Borough of Richmond Upon Thames.

Joint appellants need only pay one set of fees.

### WHAT HAPPENS IF YOU DO NOT APPEAL

If you do not appeal against this enforcement notice, it will take effect on the date indicated above and you must then ensure that the notice is complied with. Failure to comply with an enforcement notice that has taken effect, is a criminal offence and can result in legal proceedings and/or remedial action by the Council.

**PERSONS SERVED WITH A COPY OF THIS ENFORCEMENT NOTICE**

The Company Secretary  
Turk Launches Limited  
35 Ballards Lane  
London  
N3 1XW

Turk Launches Limited  
FAO: Mr R Turk  
35 Ballards Lane  
London  
N3 1XW

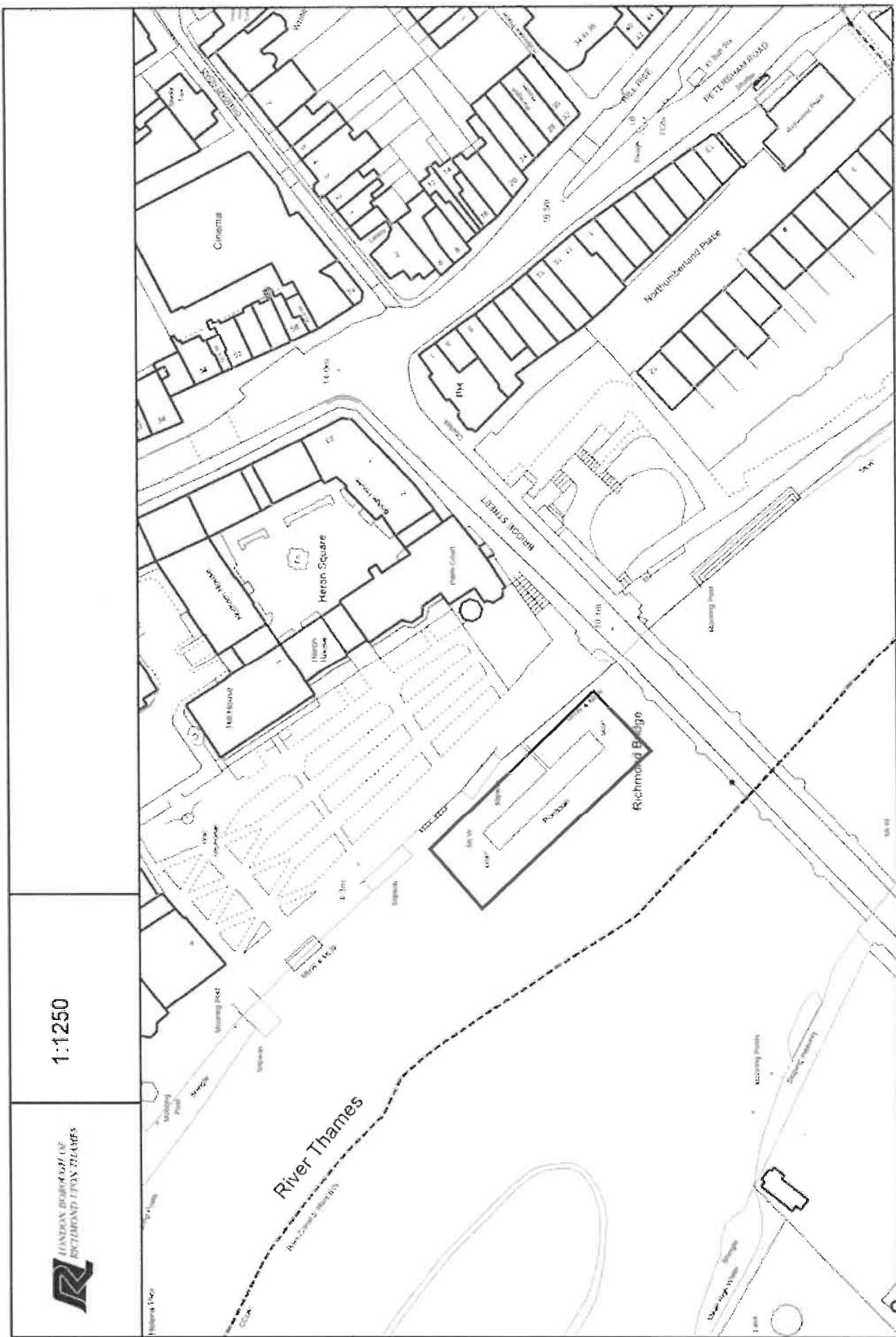
Turk Launches Limited  
Town End Pier  
68 High Street  
Kingston upon Thames  
KT1 1PX

The Crown Estate Commissioners  
1 St. James's Market  
London  
SW1Y 4AH

Daisy Green Food Ltd  
4a New Quebec Street  
London  
England  
W1H 7RF

Peggy Jean Restaurant  
FAO: Restaurant Manager  
Richmond Bridge Pier  
Riverside  
Richmond  
TW9 1TH

Owner/occupier  
Richmond Bridge Pier  
Riverside  
Richmond  
TW9 1TH



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Phone +44 (0) 7899 895 194

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Email nick.collins@porticoheritage.co.uk

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Website [www.porticoheritage.co.uk](http://www.porticoheritage.co.uk)

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