

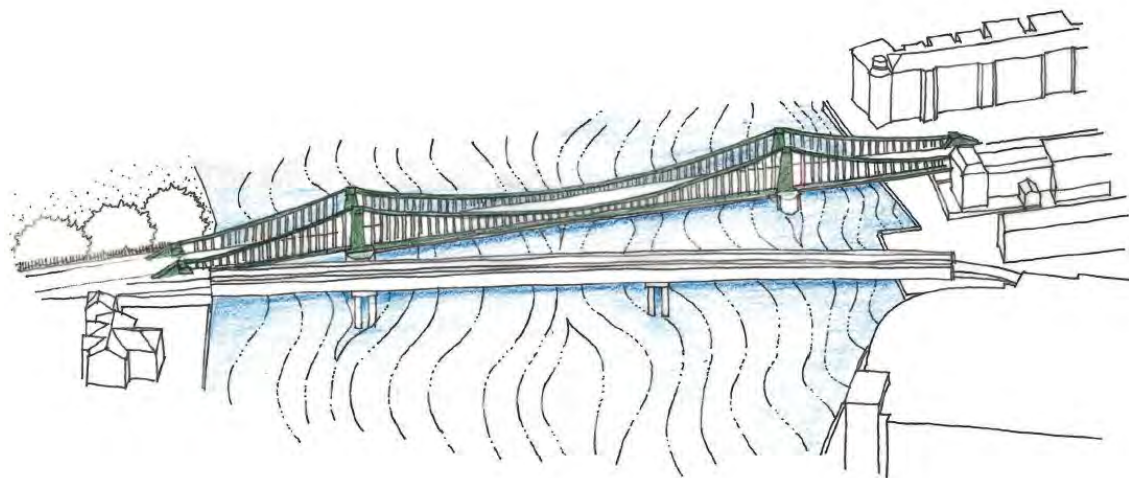


**Transport
for London**

Temporary Pedestrian and Cycle Bridge

Archaeology and Cultural Heritage Desktop
Study

P e l l F r i s c h m a n n



Date: February 2020

Report Ref: 102963-PEF-BAS-ZZZ-REP-AC-00001

Revision Record

Rev	Description	Date	Originator	Checker	Approver
P01	Initial Issue	17-01-2020	Peter Cox	S Camarao	R Madams
P02	Final	19-02-2020	Peter Cox	S Camarao	R Madams

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1 Introduction

1.1 Background

This report was produced by AC Archaeology on behalf of Pell Fischmann to Transport for London. The report comprises a desktop study and high-level assessment of the possible effects on the historic environment (archaeology and cultural heritage) due to the construction of a Temporary Pedestrian and Cycle Bridge, that will be in use during the refurbishment of Hammersmith Bridge, Grade II* Listed Building. This report was produced as a support information for an EIA Screening Report.

The groundworks associated with the Temporary Pedestrian and Cycle Bridge are situated on either side of the embankment (in the London Boroughs of Hammersmith and Fulham on the north bank, and Richmond upon Thames on the south). The proposed north abutment would be situated in the green area on the north riverbank at the south-west end of Queen Caroline Street (Plate 1 of Appendix A) and the south abutment located near the towpath on the south riverbank (Plate 3 of Appendix A). The geology comprises superficial deposits of clay sand and gravels overlying clay of London Clay Formation, formed approximately 48 to 56 million years ago in the Palaeogene Period. The area lies at around 4m above Ordnance Datum. The central grid reference for the Temporary Bridge is at NGR 522990 178098.

1.2 Scope of Assessment

This study has comprised an assessment of the possible effects of the construction, operation and removal of a Temporary Pedestrian and Cycle Bridge on the historic environment (archaeology and cultural heritage). It has included designated heritage assets within 500m of the proposed new bridge and non-designated assets within 250m.

A heritage asset is defined in National Planning Policy Framework (NPPF) as:

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).

A designated heritage asset is defined in NPPF as:

A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated under the relevant legislation.

In order to meet the requirements of NPPF para 189, it is necessary to define the significance of individual, or groups of, heritage assets. There is no formal process for ranking the significance of heritage assets other than those with statutory protection (e.g. scheduled monuments, listed buildings), but advice on the criteria to be used is included in the English Heritage guidance 'Conservation Principles – Policies and guidance for the sustainable management of the historic environment' (EH 2008). This guidance states that heritage assets are considered to have significance based on their evidential, historical, aesthetic or communal value. Additional guidance on assessing the significance, and potential effects of development on that significance, is contained within the Historic England document (July 2015) Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment. The National Planning Practice Framework also includes the criteria of architectural and artistic value.

The ranking of significance used in this assessment considers the EH (2008) criteria and the Planning Note, but expresses the results using a scale of significance (Table 1) derived from the Design Manual for Roads and Bridges, (DMRB 2 Volume 11, 2009) and from guidance provided by the International Council on Monuments and Sites (ICOMOS, 2011).

Table 1 – Ranking used to express relative significance of heritage assets.

SIGNIFICANCE (VALUE)	FACTORS FOR RANKING THE SIGNIFICANCE (VALUE) OF HERITAGE ASSETS
Very High	<ul style="list-style-type: none"> World Heritage Sites (including nominated sites); Assets of acknowledged international importance; Assets that can contribute significantly to acknowledged international research objectives; and Assets with very high evidential, historic or archaeological value.
High	<ul style="list-style-type: none"> Scheduled Monuments (including proposed sites); Grade I and II* Listed Buildings; Grade I and II* Registered Park & Garden Undesignated heritage assets of schedulable or exceptional quality and importance; Conservation Areas containing very important buildings; Assets that can contribute significantly to acknowledged national research objectives; and Assets with high evidential, historic or archaeological value.
Medium	<ul style="list-style-type: none"> Designated or undesignated assets that have exceptional qualities or contribute to regional research objectives; Grade II Listed Buildings; Conservation Areas containing important buildings; Grade II Registered Park & Garden; Assets that can contribute to acknowledged regional research objectives; and Assets with moderate evidential, historic or archaeological value.
Low	<ul style="list-style-type: none"> Undesignated heritage assets of local importance; Assets compromised by poor preservation and/or poor survival of contextual associations; Assets of limited value, but with potential to contribute to local research objectives; and Assets with limited evidential, historic or archaeological value.
Negligible	<ul style="list-style-type: none"> Assets with very little or no surviving archaeological, architectural or historical interest; and Assets with no evidential, historic or archaeological value.
Unknown	<ul style="list-style-type: none"> The importance of the resource has not been ascertained.

Guidance on the potential impacts of any development upon the setting of heritage assets, including an outline methodology for assessment is contained within the Historic England document *Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets* (Second edition, December 2017).

An Archaeological Priority Area (APA) is defined by Historic England as *a defined area where, according to existing information, there is significant known archaeological interest or particular potential for new discoveries*. Guidance on the effects of development on Archaeological Priority Areas is contained within the Historic England document *Greater London: Archaeological Priority Areas* (June 2016). The APAs associated with this proposal are classed as Tier 2 in the guidance, which requires that, as a minimum, major applications would trigger an archaeological desk-based assessment, and if necessary, a field evaluation, to accompany a planning application. These areas are set out in the local plan for each borough and are based on evidence held in the GLHER. They were created in the 1970s and 1980s and are frequently assessed and updated using the most up to date discoveries and planning policy. The Borough

of Hammersmith and Fulham have not reviewed their APAs for over ten years but are due to update them in around 2021.

The information derived from the study has been used:

- To identify and assess the significance of the currently recorded heritage assets in the study area and any contribution made to their significance by their settings, if likely to be affected;
- To assess the potential for the discovery of additional heritage assets within the area of the proposed structure; and
- To identify possible effects of the proposed development, whether adverse or positive, as far as is possible at this stage of assessment.

This assessment has provided a summary of all recorded historic environment data within the study area as a result of a search of a range of archaeological databases. Each source has its own limitations. Aerial photographs are of variable effectiveness depending on geology, land-use and weather conditions, while certain types of remains produce no cropmarks or soil marks. Documentary sources were seldom compiled for archaeological purposes, contain inherent biases, and provide a comprehensive basis of assessment only for the last two hundred years. National and county databases are also limited in that they only provide a record of known archaeological data.

2 Methodology

This study has consisted of a largely desk-based assessment, as defined by the Chartered Institute for Archaeologists' *Standards and Guidance for Historic Environment Desk-Based Assessment* (updated January 2017), the Guidelines for Archaeological Projects in Greater London (2015) and the National Planning Policy Framework.

Available data has been collated for a study area of up to 500m from the proposed bridge for designated heritage assets and up to 250m for non-designated heritage assets.

This assessment has comprised a review of archaeological and historical information comprising:

- Data held by the Greater London Historic Environment Record (hereafter GLHER) acquired on 16 December 2019;
- Data held by the Historic England Archive (hereafter HEA) in Swindon, acquired 12 December 2019;
- The Historic England National Heritage List for England (NHLE), accessed during December 2019 and January 2020;
- A site visit undertaken on 18 December 2019;
- A full sequence of historic mapping available online; and
- Other published, published, or online information.

Aerial photographs held by the Historic England Archive at Swindon were not consulted as it was considered that historic maps cover the area in sufficient detail to understand the nature and development of the area. It was considered unlikely that they would show any previously unrecorded archaeological features.

Due to the confidential nature of the proposed development, consultation with the Greater London Archaeological Advisory Service (GLAAS) was not possible prior to the commencement of this assessment. However, the assessment has been undertaken with reference to guidelines set out by the GLAAS (2015) and by Historic England.

A site inspection was undertaken on the 18th December to inspect the current land use and conditions. The weather at the time of the visit was dry and bright. The area of the south abutment is part of a well-worn towpath, while the area around the north abutment is a grassed garden area.

3 Proposed Development

The Temporary Pedestrian and Cycle Bridge is required as a direct diversion route over the river Thames for pedestrians and cyclists whilst the existing Grade II* listed Hammersmith Bridge is being repaired. This Temporary Bridge will provide the safest access and most feasible way for pedestrians and cyclists to cross the river.

The structure is a simply supported three span deck with two piers in the river, with a total length of approximately 216m. The north and centre spans are expected to be approximately 85.5m long and the south span is expected to be approximately 45m long. The bridge will continue into a steel ramp structure, adjoining the existing highway network.

The south abutment is located near the towpath on the south riverbank and the north abutment is in the green area on the north riverbank at the south west end of Queen Caroline Street. A ramp structure is to be installed at both ends of the bridge connecting the Bridge to the existing highway network.

The structure type is to be a Temporary modular steel bridge. The bridge deck is to be demountable and of half through truss construction comprising structural elements put together to form the outer trusses, and transverse elements supporting a steel deck to carry the pedestrian and cycleway. The effective width of the segregated pedestrian and cycleway is to be a minimum of 5.50m, with an overall deck width of 7.1m, as shown on the GA Drawing. The total weight of the superstructure will not exceed 4.1 tonnes per metre span.

The bridge foundations, substructure and superstructure are designed to accommodate potential flooding of the river and breach of flood defence system. The soffit levels of the centre and south span are to match the soffit level of the Hammersmith Bridge, as a minimum, but the soffit level of the north span is to be lowered.

As the structure is to be Temporary, all the substructure elements in the river (including foundations) are designed to be quickly installed and such that it can be decommissioned afterwards, once the bridge is no longer needed.

The substructure and foundation within the River Thames (piers 1 and 2) are to comprise an arrangement of 4 tubular socketed steel piles installed in augured shafts and braced with steel sections.

The abutments on land will be of reinforced concrete construction supported on augured reinforced concrete piles.

It should be noted that all the structure, including foundation elements and ramps, is to be fully removed once Hammersmith Bridge is refurbished and opened for cyclists and pedestrians.

4 Desktop Study Results

4.1 Outline of Historical Development

The earliest record of the name *Hameresmythe* derives from the Old English words *Hamor* (a hammer) and *Smythe* (Smithy). The land on the north bank was part of the Manor of Fulham owned by the Bishop of London. John Rocques Map of Middlesex c.1745, shows the village of Hammersmith, where Hammersmith Broadway is now, with ribbons of buildings running west along King Street, south along Queen Caroline Street towards the River Thames. At that time, the hamlet of Hammersmith was a rural appendage of the parish and manor of Fulham and only gained its chapel-of-ease in 1631, after the residents applied to the Bishop of London to avoid the journey to All Saints Fulham. Much of the land was orchards, with some left as pasture for animals. The map also shows the line of Counters Creek, on the north bank, which was navigable by barges as far as King Street where Cromwell's Brewery stood. The creek was filled in by 1936 and its water channelled through a culvert.

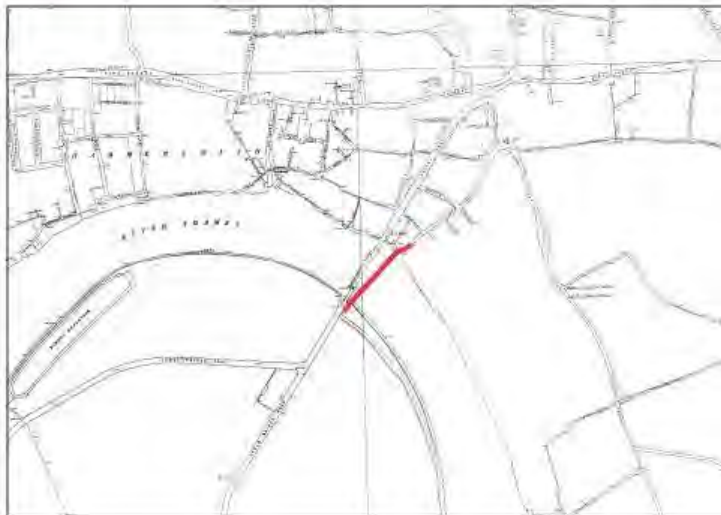
Land on the south bank in the vicinity of the bridge was not developed for housing until after the construction of the present Hammersmith Bridge in 1884.

The First series Ordnance Survey map (see Figure 1a) shows Hammersmith as still largely undeveloped in the early part of the 19th century. There was no bridge across the river at Hammersmith until 1824, although there may have been boat crossings here. A road south from this bridge, to Barnes, became the focus of later development on the south bank, after 1850.

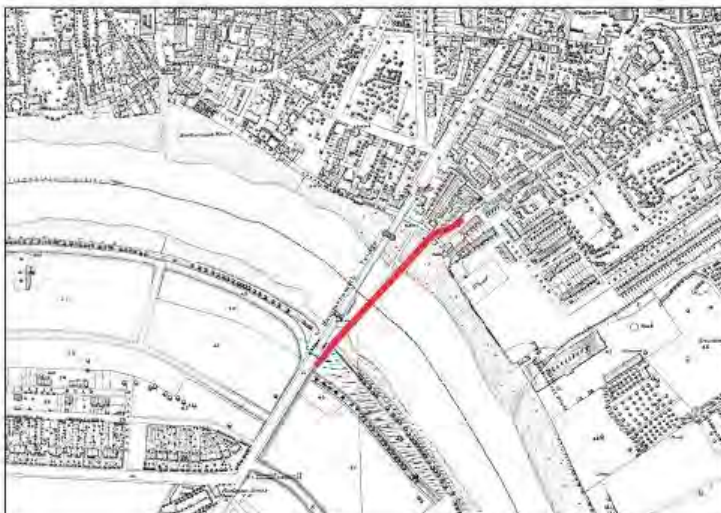
In the mid-19th century (See Figure 1b) Hammersmith was still largely rural, although it had increased its arable and meadowland, along with areas of gardens and brickyards. By 1860 a network of smaller and mainly residential roads had spread out from King Street, replacing almost all the market gardens. The extension of the London Underground railway, the Metropolitan Line in 1864 and the District Line in 1874, enabled King Street and its surroundings to expand rapidly, giving it faster access into London and the developing suburbs (see Figure 1c). This map shows that the area to be used for the proposed northern bridge abutment was part of a terrace of houses, built between 1850 and 1869. Clearance of this area had begun by 1952 and the present buildings (to the north) were in place by 1957.



a) Extract from the Ordnance Surveyor's first series map, 1811



b) Extract from the Ordnance Survey 1:500 Town map, 1850



c) Extract from the Ordnance Survey 1st-edition map, 1869

Figure 1 – Extracts from relevant historic mapping.

4.2 Designated Assets

There are 34 designated heritage assets lying partly, or fully, within the 500m study area. These comprise six Grade II* Listed Buildings, 24 Grade II Listed Buildings and six Conservation Areas. These are shown on Figure 2 and described in Table B1 of Appendix B (Summary of Heritage Assets).

Hammersmith Bridge (Site 1)

Hammersmith Bridge (Site 1) is a Grade II* Listed Building and stands adjacent to the proposed Temporary Bridge. It was constructed in 1884 and preceded an earlier suspension bridge built in 1824. There is no evidence for a bridge across the river prior to the maps of 1745 and 1780 show no obvious physical crossing. The original Hammersmith Bridge was the first suspension bridge over the River Thames and was designed by William Tierney Clark. It opened in 1827 and was operated as a toll bridge. By the 1870s the bridge was no longer strong enough to support the weight of heavy traffic. The current bridge was designed by Sir Joseph Bazalgette and rests on the same pier foundations as the earlier bridge. It was opened in 1887. In 1973-76 the bridge was strengthened and repaired in extensive works including replacement steel trusses and new deck timbers. Two failed terrorist attempts to damage or destroy the bridge have taken place in the past, one in 1939 and one in 1996. A later attempt in 2000 did succeed in causing damage to the bridge, resulting in its closure for two years for repairs. It was reopened with further weight restrictions put in place.

Hammersmith Bridge has been designated because of its high architectural qualities and its ornamentation, which makes it one of the most distinctive bridges on the Thames. It is of technological interest for its use of modern (at that time) materials and is distinguished from other structures by its connection to Sir Joseph Bazalgette, a highly significant engineer of the time. The asset therefore has great architectural, historic, technological and communal value and is of High Significance. The setting of the asset comprises its position across the River Thames and its functional relationship with the river and the settlements on either side. Visually, the bridge is very striking, and it can be appreciated from some distance along the river. It principally derives its significance from its architectural and historic interest and its setting makes a moderate contribution to that significance.

Fulham Reach Conservation Area (Site 52)

The northern end of the proposed temporary bridge will be positioned on the boundary of the Fulham Reach Conservation Area (Site 52). This area is primarily designated for its waterfront, the river and the views along it from Hammersmith Bridge down to Fulham and back. There is a mix of light industrial, offices and residential land use within the asset. Much of the residential areas are along the waterfront. There are a number of archaeological sites within the asset relating to the earlier (Romano-British and Saxon) settlement of the waterfront and its strategic location on the bend of the river would have been carefully selected for settlement. The asset has historic and archaeological interest and is considered to be of Medium Significance. Many of the historic waterfront buildings have been lost and the character and significance of the Conservation Area are largely derived from the river and the current views along it. The setting therefore makes a high contribution to the significance of this asset.

The Mall Conservation Area (Site 2) and associated assets

The northern end of the proposed new bridge crosses the eastern end of the Mall Conservation Area (Site 2). This asset has been designated for its surviving elements of 17th century and later waterfront buildings and the relationship of the area with the River Thames. Its growth and development can be traced through the varying architectural styles within it, which give the asset its character. The Conservation Area has been divided into Character Areas, the closest of which is Lower Mall, an area with a number of surviving post-medieval town houses and waterfront buildings, representing a fairly prosperous but primarily mercantile period of its

history, as the city expanded. The asset as a whole contains a number of Listed Buildings. These include the 12 -14 Upper Mall (Site 11), 13 – 15 Upper Mall (Site 10) and Kelmscott House (Site 16), all large 18th century houses and Grade II* Listed Buildings of High Significance. A row of waterfront townhouses Numbers 6 to 12 Lower Mall (Sites 3-8), Westcott Lodge (Site 9), 22 and 24 Upper Mall (Site 12), The Seasons (Site 13), The Dove Inn (Site 14) and the Embankment Wall (Site 15) lie within the study area, and the Conservation Area, and are Grade II Listed Buildings of Medium Significance. Overall, the Conservation Area is considered to be of High Significance. The setting of the asset comprises its position on the river. It can be best appreciated from within, where the architectural development of the area and its relationship with the river can be understood. The asset derives much of its significance from its architectural and historic interest, but its setting makes a high contribution to it.

Castelnau Conservation Area (Site 62) and associated assets

The southern abutment of the proposed temporary bridge lies within the Castelnau Conservation Area (Site 62). Although the asset has a fairly varied character, its principal street (Castlenau) represents the earliest development of the area and was constructed to link the bridge with Barnes, at that time a village to the south. It comprises a group of paired villas, built in 1825, and a number of later groups of houses. The area retains much of its original, residential character and is considered to be a distinctive townscape. The buildings within the northern part of the asset, closest to the bridge, are not considered to be as celebrated a group as those to the south but they still form a part of the long vista toward the bridge from the south. Beyond the residential area are more commercial streets containing some landmark industrial buildings including the Harrods Depository (Site 31), a Grade II Listed Building, and a soap and candle factory. The Conservation Area is considered to be of Medium Significance. Its setting comprises its location on the river, its relationship with the bridge and the relationship of the residential and industrial areas. The asset is best appreciated from within, from where the relationships between all these aspects can be understood. The setting makes a moderate contribution to the asset's significance.

The Hammersmith Odeon Conservation Area (Site 53) and associated assets

The Hammersmith Odeon Conservation Area (Site 53) comprises a largely Victorian area of development on land which, until the 1860s, still rural with large houses dispersed across it. Temple Lodge (Site 30, a Grade II Listed Building) is one of only a few of those houses which survive. Two large estates of Mansion blocks built between 1900 and 1926 retain their original layout and form and give the area an urban, but fairly grand, character. The Hammersmith Odeon (Site 29) was built in 1932 as a cinema and is now a Grade II* Listed Building of High Significance. The Conservation Area has historic and architectural interest and is of Medium Significance. It is an urban area and its setting, which comprises the street patterns and the relationships between them, can be best appreciated from within the asset. The significance of the Conservation Area is principally derived from its historic and architectural interest and its setting makes a low contribution to this.

The Hammersmith Broadway Conservation Area (Site 60) and associated assets

The Hammersmith Broadway Conservation Area (Site 60) represents the 19th century expansion of Hammersmith from a small village to a prosperous late Victorian suburb built around King Street, the principal thoroughfare. A large number of buildings, and groups of buildings, survive and form an interesting and important townscape which represents the development of Hammersmith. Although there has been significant later 20th century development in the area (a large bus station, shopping centre and offices), the overall character of the area as a traditional town centre has been retained. The asset has historic and architectural interest and is of Medium Significance. Its setting comprises the principal thoroughfare and the location of the buildings around it. The asset can be best experienced from within, where the development of the area, the variety of architectural styles and the functional relationships between the buildings can be appreciated. There are seven Listed

Buildings which lie within the Conservation Area and the study area, one Grade II* Listed Building of High Significance and six Grade II Listed Buildings of Medium Significance. These comprise the Grade II* Church of St Paul (Site 27) and four Grade II tombs (Sites 24, 25, 26 and 28) within its churchyard. Bradmore House (Site 23) was built in 1994 but incorporates the 18th century frontage of an earlier building on the site. The Hop Poles Public House (Site 22) is located to the north and is a Grade II Listed Building.

Hammersmith Town Hall Conservation Area (Site 61)

The character of the Hammersmith Town Hall Conservation Area (Site 61) is largely defined by the mid-19th and early 20th century residential developments, and the variety of architectural styles that were employed during this suburban expansion brought about largely by the extension of the London Underground. The asset has historic and architectural interest and is of Medium Significance. Within the Conservation Area, and the study area, there are five Grade II Listed Buildings. These comprise Hammersmith Town Hall (Site 17) at the west end of the area, the Hope and Anchor Public House (Site 18), nos. 1-3 Bridge Avenue (Site 19), Nos 6-32 Angel Walk (Site 20) and a milepost outside the Angel Hotel (Site 21). These assets are all of Medium Significance.

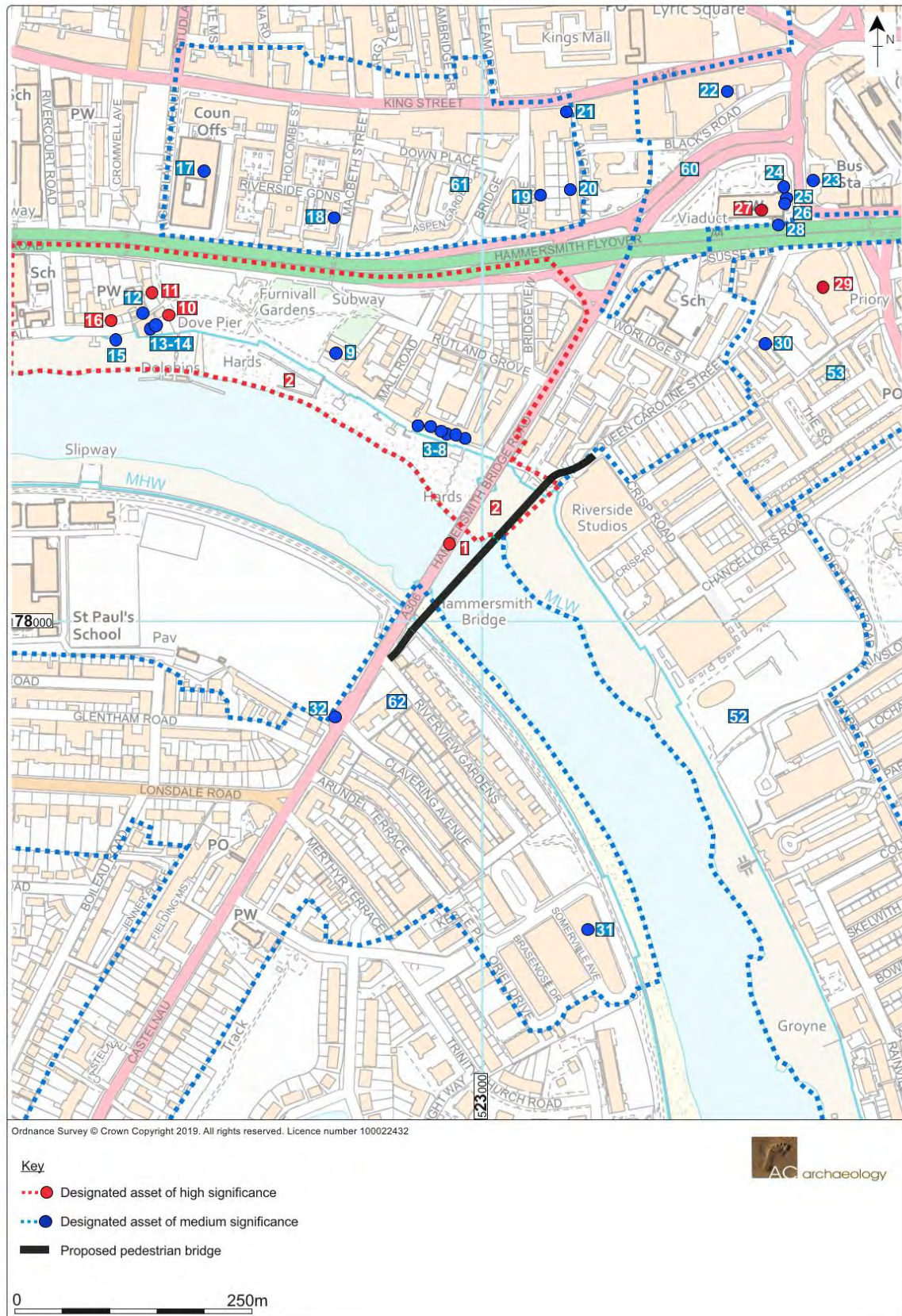


Figure 2 – Location of designated heritage assets.

4.3 Non-designated assets

There are 21 individual heritage assets currently recorded by the HEA and GLHER within the study area. The majority lie within three Archaeological Priority Areas (Sites 50, 51 and 59). The APAs are areas defined for planning purposes where, according to existing information, there is significant known archaeological interest or particular potential for new discoveries. All recorded non-designated assets are shown on Figure 3 and described in the table of Appendix B.

Hammersmith Creek, Queen Caroline Street and Broadway Archaeological Priority Area (Site 50)

This area is part of the possible original Saxon settlement of Hammersmith around Creek Mouth. It also includes the medieval and post-medieval settlement along the river front and a number of findspots from the foreshore. It contains four non-designated assets. Site 33 is a former house, gardens and three acres of land, granted to the Chancellor of St Paul's by Ralph de Ivanghoe. The original house was enlarged in the 17th century by the Slade family who added a further house to the north, later called The Refuge and still standing in 1839. Site 36 is a findspot comprising undated disarticulated human skeletal remains dredged from the Thames and Site 46 is the site of a post-medieval former house divided into two tenements, now demolished. Site 58 is Riverside Studios a former 20th century film studio, now used for television and theatre productions. This area is considered to be of Medium Significance.

Winslow Road Archaeology Priority Area (Site 51)

This Winslow Road APA (Site 51) comprises a recently discovered prehistoric and Saxon settlement area, the site of a 17th century house, subsequently Brandenburgh House, and an 18th century theatre. None of these discoveries fall within the study area. This area is considered to be of Medium Significance.

Thames Foreshore and Bank Archaeological Priority Area (Site 59)

This area is defined by the Thames foreshore on the south side of Hammersmith Bridge. The area has long been a focus for human activity and archaeological finds or deposits, of all ages, can be found here. They have previously been recovered from the bank or dredged from the riverbed and include wooden structures which have been buried by rising water levels over the millennia. Within the study area there are seven recorded non-designated assets, all of which are findspots. Sites 37, 38, 56 & 57 are prehistoric in date and include Bronze Age metalwork (Sites 37 & 38) and a small collection of late Iron Age coins (Sites 56 & 57). Sites 36 and 54 are both undated and comprise human skeletal remains and a deer antler tool. Site 39 is a group of timbers, possibly representing a fish trap of post-medieval date and Site 55 is an early medieval plaque of unknown purpose. This area is considered to be of Medium Significance.

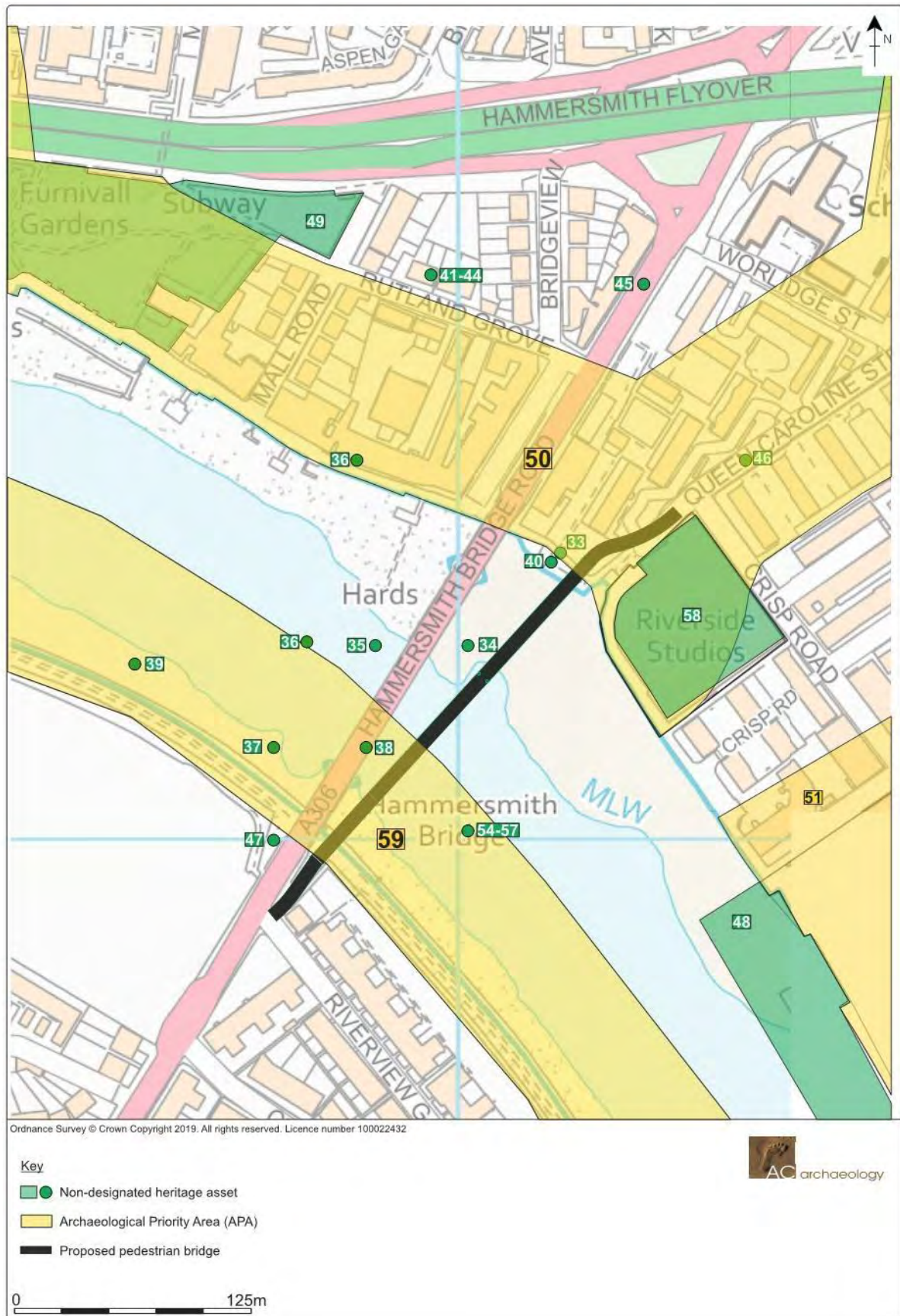


Figure 3 – Location of non-designated assets.

5 Likely Impacts and Impact Assessment

In general, development can impact on the significance of heritage assets indirectly (principally through changes to their settings) or directly (through physical changes to the asset itself). This section of the report assesses the potential impacts of the proposed Temporary Pedestrian and Cycle Bridge on relevant heritage assets identified. The north end of the bridge would be constructed on Queen Caroline Street, and at the south end just off Riverview Gardens. The bridge would have two supporting piers on the riverbed approximately at the edge of the mean low water level on each side.

5.1 Indirect impacts

Assessment of potential effects of the bridge on the settings of assets within the study area has been made using the methodology set out by Historic England (2017). This has concluded that the proposed development could have **no effect** on the settings or significance of the following assets, which have not been considered further:

- Hammersmith Odeon Conservation Area (Site 53) and associated assets (Sites 29 and 30);
- Hammersmith Broadway Conservation Area (Site 60) and associated assets (Sites 22 – 28);
- Hammersmith Town Hall Conservation Area (Site 61) and associated assets (Sites 17 - 21);
- Harrods Depository (Site 31);
- K6 Telephone Kiosk adjacent to Hammersmith Bridge (Site 32); and
- Listed Buildings at the western extent of Upper Mall (Sites 9 – 16).

Potential impacts on the other designated assets have been considered and the results presented below.

Hammersmith Bridge (Site 1)

The proposed temporary bridge will cross the river adjacent to, although not quite parallel with, Hammersmith Bridge on its east side. It would be clearly visible in most views of the asset and could restrict an appreciation of its architectural significance from certain aspects. It would not detract from an understanding of the asset's form and function nor could it have an effect on the architectural and historic elements from which it derives much of its significance. While it is considered that there could be a minor effect on the setting of the asset, there could be no effect on its significance. Any effects on setting would be temporary and reversed on completion of the works.

The Mall Conservation Area (Site 2) and associated assets (Sites 3 – 8)

The proposed structure will cross (above ground) the eastern extent of this asset and would be visible in shared views of it from the east and potentially also in glimpsed views of the Conservation Area and Listed Buildings from the west. The proposed new bridge could have no effect on the character or elements from which the assets derive their significance and would not interrupt any functional or visual relationships that they have. It is therefore considered that the proposed bridge could have a negligible effect on the setting of the assets and no effect on their significance. Any effects on setting would be temporary and reversed on completion of the works.

Fulham Reach Conservation Area (Site 52)

The northern end of the proposed structure will be constructed within the asset. It would be visible in views through, and of, the asset. The Conservation Area Appraisal highlights views along the river toward Hammersmith Bridge as one of the principal views of the asset, and one of the factors that defines the area's character. The proposed bridge would cross the river in front of Hammersmith Bridge and would therefore be clearly visible in this key view. It would not affect the remaining elements of the asset's character, the foreshore and the river itself, from which it also derives significance. It is therefore considered that the proposed bridge could have a low to negligible effect on the setting of the asset and no effect on its significance. Any effects on setting would be temporary and reversed on completion of the works.

Castlenau Conservation Area (Site 62)

The southern end of the proposed structure will be constructed within the asset. The proposed temporary bridge spans the river away from the Conservation Area. The view toward the bridge from the south is considered to be one of the key views. This view is best appreciated from the south and central part of Castlenau, with the neat residential houses on visible on both sides and the bridge in front. Therefore, although there could be glimpsed shared views of the proposed temporary bridge and the asset, it is not considered that it could interrupt the principal elements of the key views, nor could it disrupt any of the elements from which the asset derives its significance. It is considered that while the proposed bridge could have a negligible effect on the setting of the asset, it could have no effect on its significance, nor any effect on the significance of the designated assets within it.

5.2 Direct impacts

Northern Abutment

The northern entrance to the temporary bridge will be located on Queen Caroline Street. This location lies within the Hammersmith Creek, Queen Caroline Street and Broadway APA (Site 50). While there are no recorded heritage assets within the proposed footprint of the temporary bridge, its inclusion in the APA implies that there is some potential for the presence of previously unrecorded finds and features to be present. A watching brief undertaken on the foreshore, c. 20m to the west of the proposed bridge, recorded a post-medieval culvert inside the waterfront wall. Although a bridge was not always present here, it is possible that there was a crossing point (ford or ferry) on this part of the river. It is considered, therefore, that there is a moderate potential for the presence of previously unrecorded archaeological features or deposits to be present. Any groundworks undertaken here could have a direct adverse impact on the significance of any features or deposits which may be present.

Southern Abutment

There are no recorded non-designated heritage assets within the area of the southern entrance to the temporary bridge. The Thames foreshore has been designated as an Archaeological Priority Area (Site 59) and, although the temporary bridge will be built just outside it, it is considered that there is a low potential for the presence of previously unrecorded archaeological features or deposits to be present in this area. However, any groundworks undertaken here could have a direct adverse impact on the significance of any features or deposits which may be present.

Piers within the riverbed

Numerous artefacts, some of great archaeological importance, have been dredged from, or found on, the bed of the Thames. While they tend not to be associated with discernible features, many do tend to be items of significance, likely to have been deliberately deposited there. It is possible that such objects are present in any area which will be used as a pier or support to the temporary bridge. Any works within the riverbed itself, or on the foreshore, could disturb or

reveal such artefacts. These effects may occur during the installation of the piers, during their use (as a result of tidal scour around the piers) or during their removal.

6 Recommendations

Northern Abutment

It is recommended that early consultation with the LPA/GLAAS is undertaken to ensure that any impact on previously unrecorded buried archaeological features or deposits is either defined in more detail by evaluation, or mitigated by archaeological monitoring during construction and the use of protective measures during enabling works, as may be required as part of a planning condition.

Southern Abutment

It is recommended that early consultation with the LPA/GLAAS is undertaken to ensure that any impact on previously unrecorded buried archaeological features or deposits is either defined in more detail by evaluation, or mitigated by archaeological monitoring during construction and the use of protective measures during enabling works, as may be required as part of a planning condition.

Piers

Although difficult to mitigate against the discovery of isolated artefacts, early consultation with the LPA/GLAAS should be undertaken and details of construction methods clarified to fully define potential impacts. Archaeological monitoring may be required during the installation of piers, or other intrusive works, on the foreshore or riverbed. Monitoring of effects during the use of the temporary bridge, and when the piers are removed, may also be required.

7 Conclusion

There are 34 designated heritage assets within, or partly within the 500m study area which comprise six Grade II* Listed Buildings, 24 Grade II Listed Buildings and six Conservation Areas. An assessment of any potential impacts that the proposed Temporary Bridge could have on the settings or significance of these assets concludes that there could be a visual effect on the settings of the Mall Conservation Area, the Fulham Reach Conservation Area, the Castlenau Conservation Area and Hammersmith Bridge. These effects would be negligible to minor and would be temporary. The removal of the temporary bridge at the conclusion of the works would reverse these effects.

Due to the presence of Archaeological Priority Areas, any ground disturbance on either of the foreshores, the riverbed or in the immediate areas of the north and south abutments of the Temporary Bridge could have an adverse effect on unrecorded finds or features which may be present. These effects may occur during installation, operation or removal of the structures. However, importance of potential findings is unknown, and scale of works will be highly localised so unlikely to result in significant effects. A consultation with the LPA / GLAAS should be undertaken to ensure that any potential impact on previously unrecorded buried archaeological features or deposits is either defined in more detail by evaluation, or mitigated by archaeological monitoring during construction and the use of protective measures during enabling works, as may be required as part of a planning condition.

8 References

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9 The above is submitted for acceptance

This work has been produced by AC Archaeology on behalf of Pell Fischmann to Transport for London.



Signed

Name Peter Cox

Qualifications
Date

Member of the Chartered Institute for Archaeologists
19 February 2020

Appendix A – Plates



Plate 1: View of position of the northern abutment to temporary bridge (looking south) with Hammersmith Bridge in the background



Plate 2: View of Hammersmith Bridge and the location of the proposed temporary bridge (looking south)



Plate 3: View of position of the southern abutment to temporary bridge (looking north) with Hammersmith Bridge in the background



Plate 4: View of Hammersmith Bridge and the location of the proposed temporary bridge (looking north)



Plate 5: View of position Hammersmith Bridge (location of temporary footbridge is behind it) from the Mall Conservation Area (Site 2)



Plate 6: View of Hammersmith Bridge from the edge of the Fulham Reach Conservation Area (Site 52), one of its key character views

Appendix B - Summary of Heritage Assets

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Table B1 - Summary of Heritage Assets

Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
1	LEN 1080793 LEN 1079819	522967	178084	Bridge	Extant structure	Hammersmith Bridge Built in 1884 on the designs of Sir Joseph Bazalgette. A suspension bridge that rests on pier foundations of an earlier bridge built in 1824 – 27.	Post-Medieval	Listed Building Grade II*	High
2	H&FBC	523000	178211	-	-	The Mall Conservation Area 2 The Mall Conservation Area (Site 2) derives its character from the historic built form and its relationship with the river. Elements of 17th and 18th century Hammersmith survive, and these are focused around the three groups of Listed Buildings. Hammersmith Terrace, Upper Mall and Lower Mall, are valued for both their historic and architectural value, each having areas of late Victorian development. Underlying the above building periods is the street pattern, much of which can be traced back to early maps and histories of the area. It is designated as an area of special historic and architectural interest, the character of which it is desirable to enhance or preserve. The part of the asset which lies closest to the application area is Lower Mall (Sites 3-8) comprising a number of town houses dating from the 17th to 19th centuries.	-	Conservation Area	High
3	LEN 84040	522930	178211	House	Extant structure	6, Lower Mall Late 18th century town house	Post-Medieval	Listed Building Grade II	Medium
4	LEN 1358596	522955	178286	House	Extant structure	7, Lower Mall Early 19th century town house	Post-Medieval	Listed Building Grade II	Medium
5	LEN 1079789	522961	178202	House	Extant structure	8, Lower Mall Early 19th century town house	Post-Medieval	Listed Building Grade II	Medium
6	LEN 1079790	522980	178198	House	Extant structure	9, Lower Mall Early 19th century town house	Post-Medieval	Listed Building Grade II	Medium
7	LEN 1358597	522978	178190	House	Extant structure	No 10 (Kent House) including railings and gate 18th century town house	Post-Medieval	Listed Building Grade II	Medium

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
8	LEN 1079791	522982	178194	House	Extant structure	11 and 12, Lower Mall Early 17th century town houses	Post-Medieval	Listed Building Grade II	Medium
9	LEN 1192363	522842	178289	House	Extant structure	Westcott Lodge, 22 Lower Mall Substantial house, circa 1746	Post-Medieval	Listed Building Grade II	Medium
10	LEN 1079782	522662	178331	House	Extant structure	13 and 15, Upper Mall Early 18th century town house	Post-Medieval	Listed Building Grade II*	High
11	LEN 1079781	522643	178355	House	Extant structure	Sussex House including boundary wall to north, 12 – 14 Upper Mall Substantial house, circa 1726	Post-Medieval	Listed Building Grade II*	High
12	LEN 1079784	522663	178333	House	Extant structure	22 and 24, Upper Mall House, now divided. Probably c1700 and later	Post-Medieval	Listed Building Grade II	Medium
13	LEN 1193015	522648	178320	Cottage	Extant structure	The Seasons with wall to south-east, 17 Upper Mall Early to mid-18th century	Post-Medieval	Listed Building Grade II	Medium
14	LEN 1079783	522642	178316	Public House	Extant structure	The Dove Inn with wall to south-east, 19 Upper Mall Public house. Early to mid-18th century with alterations and additions	Post-Medieval	Listed Building Grade II	Medium
15	LEN 1193027	522607	178300	Wall	Extant structure	River embankment wall (extending between Nos 20 & 36) Upper Mall Embankment wall. Circa 1680-90, much repaired and renewed	Post-Medieval	Listed Building Grade II	Medium
16	LEN 1193040	522599	178324	House	Extant structure	Kelmscott House, 26 Upper Mall Substantial house, circa 1785	Post-Medieval	Listed Building Grade II*	High
17	LEN 1079785	522699	178486	Civic building	Extant structure	Hammersmith Town Hall, King Street Built 1938-9	Modern	Listed Building Grade II	Medium
18	LEN 1392791	522840	178435	Public House	Extant structure	Hope and Anchor Public House, Macbeth Street Public house. c.1936	Modern	Listed Building Grade II	Medium
19	LEN 1191556	523062	178459	House	Extant structure	Bridge Avenue, Nos 1 to 31(No 13 not previously listed) Mid-19th century terrace of 2 storey brick houses	Post-Medieval	Listed Building Grade II	Medium
20	LEN 1358542	523094	178466	House	Extant structure	Angel Walk, Nos 6 to 32 Mid-19th century terrace of 2 storey brick houses	Post-Medieval	Listed Building Grade II	Medium

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
21	LEN 1192264	523089	178459	Milepost	Extant structure	Milepost, outside No 81 (Angel Hotel), King Street C19th century. Triangular cast iron milestone with semi-circular head inscribed "HAMMERSMITH PARISH" and "HOUNSLOW 6 ½ LONDON 3 ½"	Post-Medieval	Listed Building Grade II	Medium
22	LEN 1079826	523263	178571	Public House	Extant structure	Hop Poles Public House, 17 and 19 King Street Public house, 1857. Amalgamation of two earlier houses	Post-Medieval	Listed Building Grade II	Medium
23	LEN 1192636	523355	178475	House	Extant structure	Bradmore House, Queen Caroline Street Restaurant and offices built 1994, incorporating re-erected early 18th century façade of Bradmore House, demolished in 1913	Post-Medieval	Listed Building Grade II	Medium
24	LEN 1192653	523324	178469	Monument	Extant structure	Fenn Family Tomb, north-east of Church of St Paul, Queen Caroline Street Table tomb. Probably 1790's	Post-Medieval	Listed Building Grade II	Medium
25	LEN 1079803	523326	178454	Monument	Extant structure	Banks Family Tomb, north-east of chancel of Church of St Paul, Queen Caroline Street Chest tomb. C.1763	Post-Medieval	Listed Building Grade II	Medium
26	LEN 1382112	523324	178451	Monument	Extant structure	Tomb of Richard Honey and George Francis at St Paul's Churchyard, Queen Caroline Street Headstone. C.1821. Inscription reads in memory of Richard Honey, carpenter and George Francis, bricklayer, who were shot dead in 1821 during the funeral procession of Queen Caroline of Brunswick, the removal of whose body from Hammersmith to Germany prompted a major demonstration against King George IV	Post-Medieval	Listed Building Grade II	Medium
27	LEN 1079802	523300	178444	Church	Extant structure	Church of St Paul, Queen Caroline Street 17th century. Rebuilt in 1882-91.	Post-Medieval	Listed Building Grade II*	High
28	LEN 1246022	523318	178428	Monument	Extant structure	Tomb of Samuel Jones approx. 5m south of St Paul's Church, Queen Caroline Street Table tomb with railings. Probably commemorates Samuel Jones who died in 1783.	Post-Medieval	Listed Building Grade II	Medium
29	LEN 1252993	523366	178361	Cinema	Extant structure	Former Odeon Cinema, Queen Caroline Street Built in 1932 as the Gaumont Palace until 1962, before becoming Hammersmith Odeon until 1992. Now a music venue known as the Eventim Apollo	Modern	Listed Building Grade II*	High

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
30	LEN 1079804	523303	178299	House	Extant structure	Temple Lodge, 51 Queen Caroline Street House. Early 19th century.	Post-Medieval	Listed Building Grade II	Medium
31	LEN 1254280	523112	177669	Warehouse	Extant structure	Harrods Depository Riverside Warehouse to east, Arundel Terrace Depository. 1911-1914. Built by W G Hunt for Harrods Stores.	Modern	Listed Building Grade II	Medium
32	LEN 1261475	522841	177897	Kiosk	Extant structure	K6 telephone kiosk adjacent to Hammersmith Bridge. Telephone kiosk designed by Sir Giles Gilbert Scott in 1935.	Modern	Listed Building Grade II	Medium
33	HER MLO68752 HER ELO13770	523055	178154	House	Documentary	Queen Caroline St A house, garden and three acres were granted to the Chancellor of St Paul's by Ralph de Ivanghoe. The original house was enlarged in the 17th century by the Slade family who added a large house behind it to the north. Later called the Refuge. Still standing in 1839	Medieval / post-medieval	None	Low
34	HER MLO26794 HER MLO26795	523005	178105	Findspot	Find	Stag antlers and a Bronze Age rapier blade found during bridge construction in 1825	Undated / Prehistoric	None	Negligible
35	HER MLO26014	522955	178105	Findspot	Find	A trephined human skull found during dredging of the Thames on the west side of Hammersmith Bridge in 1864	Prehistoric	None	Negligible
36	HER MLO109008 HER MLO109009	522918	178107	Findspot	Find	Disarticulated human skeletal remains found in the Thames at Hammersmith	Undated	None	Unknown
37	HER MLO109315 HER MLO109316	522900	178050	Findspot	Find	Two Bronze Age spearheads, one with fragmented shaft found on the foreshore on the south side of Hammersmith Bridge	Prehistoric	None	Negligible
38	HER MLO109459	522950	178050	Findspot	Find	Bronze Age phalerae found on the foreshore at Hammersmith Bridge	Prehistoric	None	Negligible
39	HER MLO69856	522824	178095	Findspot	Survey	Group of timbers possibly representing boat or fishtrap found during a foreshore survey in 1996	Post-medieval	None	Negligible
40	HEA 1360726	523055	178150	Culvert	Extant structure	Culvert revealed during watching brief on the inside of the waterfront wall.	Post-medieval	None	Low

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
41	HER MLO58442	522985	178305	Well	Excavation	Well found during archaeological evaluation at Bridge Avenue in 1991.	Post-medieval	None	Low
42	HER MLO58445	522985	178305	Air raid shelter	Excavation	WWII air raid shelter found during archaeological evaluation at Bridge Avenue in 1991.	Modern	None	Low
43	HER MLO58447	522985	178305	Pit	Excavated feature	Two pits found during archaeological evaluation at Bridge Avenue in 1991.	Undated	None	Unknown
44	HER MLO58449	522985	178305	Post-hole	Excavated feature	Post-hole found during archaeological evaluation at Bridge Avenue in 1991.	Undated	None	Unknown
45	HER MLO23474	523104	178305	Deposit	Excavated feature	Layer of 18th century dumped material found during archaeological excavation at Queen Caroline Street in 1976	Post-medieval	None	Low
46	HER MLO7629	523155	178205	Site	Cartographic	Site of house divided into two tenements at Queen Street. Now demolished	Post-medieval	None	Low
47	HEA 401239 HER MLO109310	522841	177898	Findspot	Find	Early Iron Age dagger and sheath found on the foreshore on the south side of Hammersmith Bridge	Prehistoric	None	Negligible
48	HER MLO99357	523211	177948	Findspot	Survey	A number of structures, including at least one boundary marker and artefact scatters were recorded during a foreshore survey of the Hammersmith embankment in 2007	Post-medieval	None	Low
49	HER MLO108104	522754	178355	Public gardens	Garden / Documentary	Mall Road / Rutland Grove (Furnival Gardens) Riverside public gardens laid out in 1951 on land that was once the mouth of Hammersmith Creek, infilled in 1936. Within the gardens is the site of the former 18th century burial ground associated with the Hammersmith Friends Meeting House, destroyed by a flying bomb in WWII	Modern	None	Low
50	HER DLO35696	523104	178305	-	-	Hammersmith Creek, Queen Caroline Street and Broadway Possible original Saxon settlement of Hammersmith around Creek mouth. Medieval and post-medieval settlement of Hammersmith along river front and Roman coins and pottery from foreshore Queen Caroline Street	Saxon / Roman / medieval / post-medieval	APA Tier 2	Medium
51	HER DLO35697	523235	178119	-	-	Winslow Road Area Recently discovered prehistoric and Saxon settlement, 17th century mansion, subsequently Brandenburg House and 18th century theatre	Prehistoric / Saxon / post-medieval	APA Tier 2	Medium

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
52	H&FBC	523215	177945	-	-	Fulham Reach Conservation Area 39 The Fulham Reach Conservation Area (Site 52) is a narrow stretch of land from Hammersmith Bridge down towards Fulham Football Ground, its main feature is the river itself, its bank and views along and across the Thames. Today little of this late Victorian and Edwardian former industrial development remains. Archaeological activity found in the area during redevelopment in the 1970's includes findspots of prehistoric and Roman date. More significant archaeological activity was the discovery of an early Saxon settlement found during excavations in the 1980s and considered to be one of the most important early Saxon settlements discovered in the London area. Deposits revealed included the sunken floors of a number of former huts, associated pottery and the skeleton of a horse.	-	Conservation Area	Medium
53	H&FBC	523304	178305	-	-	Hammersmith Odeon Conservation Area 44 The Hammersmith Odeon Conservation Area (Site 53) includes the mansion blocks of College Court and the Peabody and Guinness Trust Estates, as well the Grade II* listed Hammersmith Odeon. Before 1834, Hammersmith was a rural extension of the large parish of Fulham. Most of the land was open fields with a few large houses, of which only Temple Lodge now survives. By 1868 the character of the area had become more urban and significantly increased by the construction of the Guinness Trust Estate in 1900 and the Peabody Trust Hammersmith Estate in 1926, along with the Gaumont Palace (now Hammersmith Apollo) in 1932. A lot of the buildings within the conservation area were damaged by enemy bombing during WWII but rebuilding after the war has meant that there is now little evidence of the devastation suffered at the time. The area north of the Peabody Estate and west of Fulham Palace Road forms part of the possible Saxon, medieval and post-medieval settlement of Hammersmith.	-	Conservation Area	Medium
54	HER MLO22244	523008	173106	Findspot	Find	Deer antler hammer found in River Thames at Hammersmith. Now in Royal Ontario Museum, Toronto	Undated	None	Unknown
55	HER MLO26797	523008	173106	Findspot	Find	Anglo Scandinavian decorated plaque of unknown purpose found in Thames at Hammersmith	Early medieval	None	Negligible

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
56	HER MLO26931	523008	173106	Findspot	Find	Three coins (one since lost) of late Iron Age date and possibly from a hoard found in Thames at Hammersmith	Prehistoric	None	Negligible
57	HER MLO27022	523008	173106	Findspot	Find	Four coins of late Iron Age date and possibly from a hoard found in Thames at Hammersmith	Prehistoric	None	Negligible
58	HEA 1346358	523152	177232	Studio	Extant structure	Riverside Studios, Crisp Road An arts and media centre on the banks of the Thames, based in the shell of a former foundry built in 1913. It also had a brief spell as a munitions factory during WWI. It began life as a film studio in 1934 when the Triumph Film company converted the building from what had been a water pump factory. In 1994 Riverside re-launched and has since seen television productions as well as national and international theatrical productions.	Modern	None	Medium
59	HER DLO33481	523003	178005	-	-	Thames foreshore and bank The Thames has been a focus of human activity from the early prehistoric period to the present day. Archaeology can be expected to be found anywhere along its course, including its banks or dredged from the riverbed. The foreshore may in places preserve finds and wood structures that have been buried by the rising water table over the last 10000 years.	Multi-period	APA Tier 2	Medium
60	H&FBC	523255	178455	-	-	Hammersmith Broadway Conservation Area 22 Designated in June 1986. The Hammersmith Broadway Conservation Area (Site 60) contains the former 18th century thoroughfare now named Hammersmith Road and King Street which was the main route from London via Kensington to Bath and Bristol. In the first quarter of the 19th century, Hammersmith village was extending outwards from The Broadway and its principle thoroughfare, King Street was lined by terraces. By the end of the century King Street and The Broadway now served as the focal point for shopping and transportation of a growing prosperous late Victorian suburb.	-	Conservation Area	Medium

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Site No	HER/HEA/LEN Reference	Easting	Northing	Type	Evidence	Description	Period	Designation	Significance
61	H&FBC	523089	178465	-	-	Hammersmith Town Hall Conservation Area 37 Hammersmith Town Hall Conservation Area (designated in April 1990) is defined and derived from the variety of development types that form cohesive groups within it, along with the historic street pattern which remains largely unchanged. The development types include mid-19th century terraces and the redevelopment schemes from the first half of the 20th century. The west and east ends of the conservation area are both defined by Listed Buildings, Hammersmith Town Hall to the west and the terraces along Bridge Avenue and Angel Walk to the east	-	Conservation Area	Medium
62	RBC	522905	177980	-	-	Castlenau Conservation Area 25 Designated in 1977 and extended in 1982, 1983, 1991 and 1996. Upper Bridge Street, later renamed Castlenau, was built in 1825 to connect Barnes village to the Hammersmith Bridge and originally comprised twenty pairs of classical villas. Development continued throughout the 19th century. The area is designated in recognition of the historic and architectural value of the street.	-	Conservation Area	Medium